
**June 3, 2021
6:30 PM**

The City of North St. Paul is moving all of its public meetings online effective August 4, 2020. The move to online meeting access via Zoom ensures compliance with the Governor's Emergency Executive Order and face covering mandate while providing our Commission members, staff and residents with safe and comfortable access to public meetings. Access information and links to meetings are available at northstpaul.org. This change to online meeting access will remain in effect until further notice. (Stat. 13D.02 subd. 4)

The Zoom meeting can be accessed

via: <https://us02web.zoom.us/j/87556902183?pwd=d2VMK0dBUG5YV2J5Skld0djSi9XZz09>

Passcode: 617033

Or

Dial: US: +1 301 715 8592 or +1 312 626 6799

Webinar ID: 875 5690 2183

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The Planning Commission Zoom meeting will be 'open to the public' to listen in, but will be muted from contributing at all times with the exception of a Public Hearing and open to the public forum.

Please join the meeting early to test your audio and video settings. If you join via a device and your audio is not working, you may need to use the dial-in phone number option in order to be heard.

I. Call to Order

II. Roll Call

COMMISSION

Elaine Barton, Commission Chair

Patrick Blees, Commissioner

Erik Brenna, Commissioner

Rick Gelbmann, Commissioner

John Monge, Commission Vice-Chair

Lisa Wong, Commission City Council Liaison

Andrew Wise, Commissioner Allan Worm, Commissioner

STAFF

Eric Zweber, Planning Consultant

Lisa Ritchie, Planning Secretary

III. Adopt Agenda

IV. Approval of Minutes

- A. PC Special Meeting (5.20.21) Minutes

V. Meeting Open to Public

Note: This is a courtesy extended to persons wishing to address the council who are not on the agenda. A completed public comment form should be presented to the Deputy Clerk prior to the meeting; presentations will be limited to 3 minutes. This session will be limited to 15 minutes.

VI. Public Hearings

VII. Commission Business, Action Items & Recommendations

VIII. Old Business

- A. ZCU-21-3 Outdoor Storage Conditional Use Permit to Allow T.A. Schifsky & Sons, Inc. to Install Three (3) New Silos and a Scale.

IX. Reports from Staff

- A. July 1, 2021 Planning Commission Meeting

X. Reports from Council Liaison

XI. Reports from Commissioners

XII. Adjournment

**The next regularly scheduled Planning Commission meeting is July 1, 2021
(Unless it is decided in *today's* meeting *June 3, 2021* to not meet July 1; then the next meeting would be August 5th.**

**CITY OF NORTH ST. PAUL
PLANNING COMMISSION
SPECIAL MEETING MINUTES
THURSDAY, MAY 20, 2021**

I. CALL TO ORDER

Chair Barton called the meeting to order at 6:43 p.m. The meeting was conducted via Zoom.

II. ROLL CALL

Planning Secretary Lisa Ritchie stated Commissioner Gelbmann has joined another meeting link that was posted in the online meeting packet. She added she sent him an email to use the link from the Agenda.

COMMISSION

Elaine Barton, Commission Chair

Patrick Blees, Commissioner

Erik Brenna, Commissioner

Rick Gelbmann, Commissioner **Joined the meeting at 6:46 p.m.**

John Monge, Commission Vice Chair

Lisa Wong, Commission City Council Liaison

Andrew Wise, Commissioner

Allan Worm, Commissioner

STAFF

Eric Zweber, Planning Consultant

Planning Secretary, Lisa Ritchie

III. ADOPT AGENDA

The Agenda was accepted without a motion.

IV. APPROVAL OF MINUTES

-None.

V. MEETING OPEN TO THE PUBLIC

There were no public comments.

VI. PUBLIC HEARINGS

- A. ZCU-21-3 Conditional Use Permit and Structural Height Variance to Allow T.A. Schifsky & Sons, Inc. to Install Three (3) new silos and a scale.

Commissioner Gelbmann joined the meeting at 6:46 p.m.

City Planner Eric Zweber reviewed a request for a Conditional Use permit from T.A. Schifsky & Sons, Inc., located at 2310 Highway 36 E. At the time of the public hearing notice publication, the applicant was discussing silos that would have been 60 feet tall, which would require a height variance. The applicant has since submitted plans for 55-foot-tall silos, which would not require a variance.

Mr. Zweber stated the project includes the addition of three (3) 55-foot-high silos, a scale, and associated equipment, and is a legal nonconforming use in the MU-3 District. Schifsky's is currently operating as an asphalt plant, crushing operation and related uses. Typically, a nonconforming use would not be allowed to expand, but City Code contains an exception for expansion within the MU-3 Zone, with 4 requirements: not more than 10% of the gross floor area of the building; not more than 10 % of the floor area of the entire site; the use is otherwise consistent with other chapters of City Code; and the modification must be an improvement of the area, leading to a more rapid implementation of MU-3 objectives in the Comprehensive Plan.

Mr. Zweber reviewed a request for Conditional Use Permit for outdoor storage. The proposed silos and associated equipment are considered outdoor storage, which is a conditional accessory use, and silos are considered an accessory structure. He reviewed supplemental regulations for outdoor storage: it must be located outside the front yard, and not between principle building and abutting street; it must be completely screened from adjacent streets or sidewalks, walkways or parks; it must be screened from abutting residential uses with a wall, solid fencing, hedge or equivalent material six feet in height.

Mr. Zweber showed a photo of the type of structure that is proposed to be installed, depicting three adjacent silos with a scale underneath the silos. A 16-foot concrete wall is proposed for screening along the south half of the site, and 175 feet along 3rd Street. The City has requested that the southern access be relocated to align with the New Anchor Drive, which may adjust some of the screening. City Staff has requested that the applicant provide details of the proposed screening wall.

Mr. Zweber stated there are no proposed changes to onsite landscaping, as the screening wall will provide an appropriate buffer. There will be no additional parking requirements as no on-site employees will be added. The increased production that will result from having additional silos will allow the applicant to be more competitive for contractors, but the increase in business will not be realized on an hour-to-hour basis.

Mr. Zweber stated there are no proposed modifications to site access, but circulation within the site will be adjusted to accommodate the new silos. City Staff is recommending that all access be paved as most of the site is unpaved. No major changes to drainage areas are being required. Condition of approval includes appropriate approvals from all other agencies.

Mr. Zweber stated there are no proposed changes to lighting on the site.

Mr. Zweber stated outdoor storage is proposed to be located outside of the front yard setback, and not between the principal building and abutting street; the outdoor storage is proposed to be completely screened from adjacent streets, sidewalks, walkways and parks, and be screened from abutting residential uses with a wall, solid fencing, hedge or equivalent material, six feet in height.

Mr. Zweber stated the applicant will need to request a variance for a wall that is taller than 6 feet. The standard is that the wall cannot exceed 6.5 feet.

City staff recommends conditional approval of this conditional permit request with 6 conditions included as listed in the staff report – a revised set of plans to be submitted that incorporates recommendations; the southern access shall be relocated to align with Anchor Drive; the site plan shall be updated to include paved surfaces at each entrance; all necessary permits and approvals must be obtained for the project; details of the screening wall shall be provided by Wednesday, May 26 for inclusion on the June 1 City Council meeting agenda; and the proposed screening wall shall be located on the property of 2310 Highway 36 E.

Mr. Zweber stated a new 7th condition is being requested, that the applicant shall apply for and receive approval of a wall height variance.

Commissioner Monge requested clarification regarding page 10 of 13, 2nd to the last line, which states “the number of silos increases day to day operations.” He asked whether that should read “does not increase”.

Mr. Zweber stated the increased number of silos could substantially increase their day-to-day operations. He added, however, peak hour activity will not change.

Commissioner Monge requested clarification regarding Lighting on page 11. Mr. Zweber stated the applicant is not proposing any changes to lighting.

Commissioner Monge requested clarification regarding the drawing on the last page of the application. He asked if the drawing represents the proposed change to the southernmost access onto 3rd Street, moving it 65 feet south, or is it part 1 of the Conditions.

Mr. Zweber stated the lines shown for the southern access on their site plan is the existing southern access.

The applicant thanked the Planning Commission for taking the time and consideration to review this request. The screen wall proposal could be revised to fall within compliance so a variance would not be necessary. Their goal is to improve the site for better use, but the screen wall could be revised to fall within compliance.

Chair Barton opened public hearing at 7:08 p.m.

Commissioner Gelbmann stated there was another individual, Mario, who was in the other Zoom meeting with him. He added he is trying to contact Mario to give him the correct meeting link information. Mr. Zweber stated Mario has joined this meeting.

Mario Gonzalez stated he has joined the meeting, and he is just observing. He thanked Commissioner Gelbmann for his help.

Chair Barton closed the public hearing at 7:10 p.m.

Chair Barton asked how the height of the silo is measured. Mr. Zweber stated the top elevation of the structure is a conveyor that is visible running across all three silos.

Commissioner Worm asked how the height can be reduced from 60 to 55 feet, and whether they increased the diameter. Mr. Zweber stated the leg height has been shortened.

Chair Barton stated, for purposes of clarification, the conditional use is permit request is for outdoor storage. She asked why there is no landscape plan proposal, which is a requirement in the Mixed Use district, and would show more detail about potential screening or fencing.

Mr. Zweber stated this application, due to the scale of expansion of the use, falls into the Conditional Use amendment category which does not require a landscape plan. He added, if the wall is adjusted to meet the Code at 6 feet, it would be appropriate to require a landscape plan.

Chair Barton stated a landscape plan is a requirement of the CUP process and can be required for improvements or alterations as well. She added it is mainly tree requirements.

Commissioner Monge requested clarification regarding the 16-foot wall, and whether that was a requirement of the City or requested by the applicant. Mr. Zweber stated the applicant indicated he was going to install a wall that is similar to the wall at the City's Public Works facility, which exceeds 6 feet in height.

Commissioner Gelbmann asked whether the proposed wall would have a setback similar to the wall at the City facility. Mr. Zweber confirmed this.

Commissioner Gelbmann stated his impression when biking along the trail is that he does not want it to become a rigid corridor, and some variability in the placement of the wall would be helpful in terms of breaking it up, and not look quite so monolithic. He added variability in the placement of the wall could provide opportunities for landscaping, vegetation and plantings.

Chair Barton stated the only type of fencing allowed in the MU-3 District is decorative fencing. She added she is struggling with envisioning this plan. She noted it appears that a portion of the wall would provide screening from the trail, but she did not see that in the packet. She added condition #3 also appears to be something new.

Mr. Zweber stated the requirement for the wall and property line was added to allow for southern access.

Commissioner Monge asked why the applicant is interested something similar to the City facility's 6-foot wall. The applicant stated they do not need a 16-foot wall, but they would like to utilize the screen wall to make it functional, which would require more height. He added a pre-cast wall can be used for storage and shelter for vehicles, which is why they chose the 16-foot height. He noted pre-cast panels can have some architecture added to them.

Chair Barton stated there is no way to completely screen outdoor storage, and sometimes landscaping can help, or other types of articulation, to draw the eye away from a blank wall.

Chair Barton stated she would like to have more information about this piece of the project, as screening is a key issue for this particular use. She added the City Council just approved the establishment of an Arts and Design Commission that could be enlisted as this could be a spot for a potential mural.

Commissioner Gelbmann stated Schifsky's has been a part of the North St. Paul community for many years. He added there are many different types of art that can be put on silos, and artwork could be commissioned that fits with the City's zoning regulations to be visible on the silos from Highway 36 as place of interest in North St. Paul. He asked whether the applicant would be amenable to this proposal

The applicant confirmed that they are open to such discussions, as they are a family business, and they want to be respectful of the community's input, giving consideration to plans that make sense for their business and for the City of North St. Paul. He stated a landscape plan was not put together, but that can be addressed by adding some trees and landscaping as part of the project.

Chair Barton stated she is struggling with providing a recommendation to the City Council without any additional details.

The applicant stated they can conform to the screening wall requirements to remain in compliance.

Chair Barton stated some landscaping would add interest, as there is less screening at ground level.

Commissioner Blees stated the normal landscape Ordinance would require landscaping on the property line, and the proposed wall would be located just inside the property line. The presentation showed the wall was very near the property line, but the dimensions were not defined, and a combination of landscaping and wall would be a good idea.

Commissioner Blees stated he supports the idea of a mural or artwork on the silos, as suggested by Commissioner Gelbmann.

The applicant stated they would consider adopting those items, and they are open to discussion. He added the Planning Commission's feedback and comments is much appreciated, as they want to create a project with functionality that makes sense for their business and the community.

Chair Barton stated asked whether this item is planned for review by the City Council at their June 1, 2021 meeting. Mr. Zweber stated the conditions state that information must be provided by the applicant by May 26 to be included in the June 1 City Council packet.

Chair Barton asked whether this item could be tabled to the Planning Commission's June 3 meeting for further review before it goes to the City Council in the middle of June. She asked whether that would cause problems. She expressed concern that the Planning Commission should review detailed plans and provide recommendation to the City Council, but there are no detailed plans to review.

Mr. Zweber stated a 60-day extension would be required, but there is time under the 120-day extension timeline to table this item.

The applicant stated a delay to mid-June would put a wrinkle in the process, as timing is essential with the current state of the economy.

The applicant stated they can provide detailed plans by May 26 including an updated view of what the screen wall would look like at 6 feet, in compliance with current regulations, and a civil drawing showing the wall with landscaping, plants and trees.

Chair Barton stated her concern is that if the Planning Commission reviews this issue again on June 3, a recommendation would not be provided to the City Council until June 15.

Commissioner Blees agreed with Chair Barton that it would be useful for the Commission to be able to provide confident recommendations. He added he is not hesitant to make an affirmative recommendation, but it is dependent upon details that the Commission does not currently have.

The applicant stated the timeline works with what they are trying to accomplish. He added he is concerned about coming up with design plans for a mural or art on the silos. He noted they would be amenable to that proposal, but he does not know what it would be at this point.

Commissioner Gelbmann stated the Commission would only be requesting a commitment from the applicant that they will work with the City design team to come up with an art plan.

Mr. Zweber stated the fence and landscaping, and the mural would be two separate conditions. He added the mural would be a commitment to work with the City, but no details would be required. He noted the fence and landscaping plans would be required.

Chair Barton stated the City does not have requirements for murals or wall art designs.

Commissioner Brenna asked why the screening on the west stops just east of the new silos. He asked whether it could continue to 2nd Street. He added it does not provide an effective screen for the silo.

The applicant stated they hope to use the 16-foot screen wall for functional purposes, and that area is where it would be functional. He added the wall would have to be shifted a little bit due to conditions.

Commissioner Monge asked whether the silo request could be moved forward, and the fencing and wall requests addressed afterwards. He added there have been no objections to the silo plans.

Chair Barton stated screening and fencing are part of the standards for accessory outdoor storage and all requirements must be met.

Chair Barton stated City Code requires that the accessory use be completely screened, and there is no way for that to be done. She stressed the importance of reviewing options that will draw attention away from the height.

Chair Barton stated she would recommend this issue be tabled to and reviewed at the Commission's June 3 meeting, to get clarification regarding the screening and potential landscaping.

Commissioner Wise stated this is an important site in the City, and in terms of the goals of the Comprehensive Plan, there will be many more residential neighbors in this area, close to this property. He added this will not just be a fence but could also provide something more for residents that live around there. He thanked the applicant and the Schifsky family for being open to having more discussions about doing something really nice that is also functional for Schifsky's.

Commissioner Monge expressed appreciation for Schifsky's continued presence in North St. Paul for so many years.

Chair Barton stated she would like to make a motion to table item this until the June 3, 2021 Planning Commission meeting.

Mr. Zweber stated, for purposes of clarification, the Planning Commission is requesting details related to landscaping and the fence/wall combination. He added no information is required regarding plans for a mural or art on the silos.

Commissioner Gelbmann stated the applicant has expressed a willingness to consider artwork for the silos. The applicant agreed.

Mr. Zweber stated civil drawings for landscaping and fencing would be required, as well as site plan and elevations showing the fence details.

Commissioner Gelbmann stated the requirements are well-stated in City Code, as follows: "Pedestrian oriented design and building design encouraged to make streets enjoyable, visually interesting and comfortable".

Motion by Commissioner Chair Barton, and seconded by Commissioner Gelbmann, with all present voting aye (7-0). Motion carried to table the application from Schifsky & Sons, Inc. to the Planning Commission's June 3, 2021 meeting, and to require that the applicant provide civil drawings for landscaping and fencing, as well as site plan and elevations showing the fence details.

VII. COMMISSION BUSINESS ACTION ITEMS & RECOMMENDATIONS

-None.

VIII. OLD BUSINESS

-None.

IX. REPORTS FROM STAFF

Mr. Zweber stated the City Council's June 1, 2021 meeting will include the Zoning Ordinances and Swan Avenue Shoreland Variance request. An extension has been requested by North High

School for the renovation project. The Planning Commission's next meeting is scheduled for June 3, 2021, at which the only item will be a continuation of the Schifsky's review.

Ms. Ritchie stated this meeting's agenda was created in CivicClerk for the first time. She added many meeting attendees could not access the meeting link in the meeting packet. She apologized for the confusion and agreed to look into it. She noted she is unsure about a time frame on the full CivicClerk implementation.

X. REPORTS FROM COUNCIL LIAISON

City Council Liaison Wong stated the City Council's last meeting included approval of an Ordinance to disband the Design and Review Commission and establish the Arts and Culture Commission. She added there are a few potential Commissioners, and the City Council is excited about working with the new Commission.

City Council Liaison Wong stated Ramsey County has added the Highway 120/36 project to their transportation improvement plan for 2021-2025, which will make them more competitive for federal funding. A budget of \$50 million is anticipated, mostly through state and federal funding.

XI. REPORTS FROM COMMISSIONERS

Chair Barton stated the Zoning Code refers to the Design and Review Commission in several places and will need to be updated.

XII. ADJOURNMENT

There being no further business, motion to adjourn by Commissioner Gelbmann, and seconded by Commissioner Wise, with all present voting aye (7-0). Motion carried to adjourn the meeting at 8:16 p.m.

The next regularly scheduled Planning Commission Meeting is Thursday, June 3, 2021 at 6:30 p.m.

Members, please notify any planned absences to: Lisa Ritchie
Planning Commission Secretary
lisa.ritchie@northstpaul.org
651-747-2400

MEMORANDUM

Date: 5/28/2021
To: Planning Commissioners
From: Eric Zweber, AICP, City Planner
CC: Scott Duddeck, City Manager
Re: Outdoor Storage Conditional Use Permit for Three (3) New Silos and a Scale at T.A. Schifsky & Sons (2310 Highway 36 E)

BACKGROUND

T.A Schifsky & Sons, Inc. (Schifsky) operates an asphalt plant, crushing operation, and related uses on the subject property and adjacent properties. The existing operation is a legal nonconforming use. Rob Stangler of Schifsky has submitted an application for a Conditional Use Permit Amendment to facilitate the expansion of their asphalt plant through the addition of three (3) silos, a scale, and associated equipment at 2310 Highway 36 E. The property is zoned MU-3 – Corridor Mixed-Use.

On May 27, 2021, the Planning Commission conducted a Public Hearing for the application. No comments were provided by any members of the public. The Planning Commission continued the review of the Conditional Use Permit until the June 3, 2021 Planning Commission meeting to allow the applicant to provide information on the landscaping and screening of the silos and a commitment to cooperate with the City in considering murals being painted onto the silos.

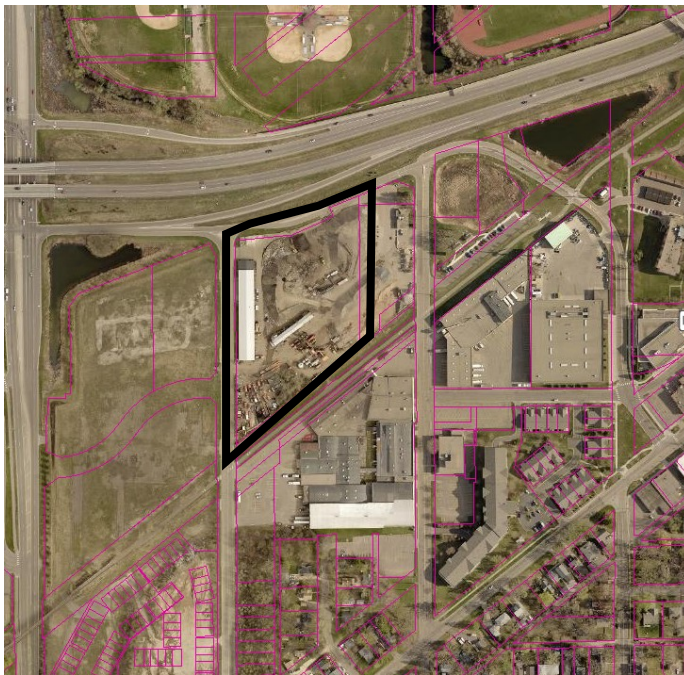


Figure 1: Location Map



Figure 2: Zoning Map

GENERAL STAFF REVIEW

Administrative Consideration

Nonconforming Use

- 154.009 (C) MU-3 Zone Expansion exception. A building permit may be granted to a nonconforming use in the MU-3 zone if all of the following are met:
- 154.009 (C)(1) The expansion of the use involves an expansion of no more than 10% of the gross floor area of the building;
- 154.009 (C)(2) The modification of the use consists of an expansion amounting to no more than 10% of the approved gross floor area;
- 154.009 (C)(3) When the expansion of the use is otherwise consistent with all other sections of this chapter;
- 154.009 (C)(4) And, when such expansion of the use eliminates an adverse effect or condition which is inconsistent with the MU-3 District or the approved plan for the area, and/or when such modification is determined to result in an improvement consistent with the objectives of the area and the total use of the site, and/or when such modification would lead to a more rapid implementation of the Comprehensive Plan and MU-3

District objectives while providing good aesthetics and functionality during the interim (time period between the nonconforming use and a conforming use of the property).

Zoning Ordinance Section 154.003 (C) allows City staff to review and approve an expansion of a non-conforming use within the MU-3 zoning district provided that the expansion meets the four (4) criteria within the Ordinance. There is no expansion of any of the buildings that exist on the site. There is no increase in the amount of land (gross square footage) occupied by their use. With the clarification that the silos will not exceed 55 feet in height, the proposed increase in the number of silos is consistent with all other provisions of the Zoning Ordinance. The screening of the new silos will occur through a six (6) foot tall fence with plastic slats and landscaping along the perimeter of the site. This screening meets the requirements for outdoor storage and fencing requirements, but staff is concerned that a chain link fence with plastic slats is not the best aesthetic choice for screening as require in 015.009(C)(4).

Planning Commission Consideration

Consistency with the City Plans

- *154.004 (F)(2) Conditional Use Permit Standards (i) The use is in harmony and consistent with the general purposes and intent of the Comprehensive Plan.*
- *154.004 (F)(2) Conditional Use Permit Standards (vii) The use is in harmony with the general purposes and intent of this chapter and the zoning district in which the applicant intends to locate the proposed use*
- *154.004 (F)(2) Conditional Use Permit Standards (x) If applicable, the proposed use is consistent with officially adopted city plans and overlays*

At the Community Cafes that were conducted during the 2040 Comprehensive Plan, “(p)rotect the existing industry in the city” was one of the common themes that was received. The McKnight Employment Center District within the Economic Development Chapter of the 2040 Comprehensive Plan states to “(p)lan for long-term redevelopment of entire (site), but recognize and mitigate the impacts on immediate and short term development.”

The 2040 Comprehensive Plan guides the subject property as Corridor Mixed Use, which encourages the combination of retail development with a variety of housing, offices, live-work spaces, employment activities, and other complementary uses. As of 2017, Schifsky was the fifth largest employer within North St. Paul with 80 employees. The improvements to Schifsky’s asphalt plant will allow them to remain competitive and remain a major employer in the short term. Within the 2040 Comprehensive Plan, the Schifsky site is identified for redevelopment after 2040.

Outdoor Storage is listed as a Conditional Use within the MU-3 Zoning District that the subject property is located in.

Health, Safety, and General Welfare

- *154.004 (F)(2) Conditional Use Permit Standards (ii) The use will not adversely affect the health, safety, or general welfare of the city.*

Schifsky has operated an asphalt plant, crushing operation, and related uses at this site for more than 50 years. The current asphalt construction market requires a variety of different asphalt mixes for a single construction project. The additional silos will allow Schifsky to supply these different asphalt mixes simultaneously. The additional silos will not change the operations affect on the health, safety, and general welfare of the City.

Compatibility with Surrounding Context

- *154.004(F)(2) Conditional Use Permit Standards (iv) The use or appearance of the use is compatible with adjacent properties*
- *154.004(F)(2) Conditional Use Permit Standards (vii) The use will be sufficiently compatible or separated by distance or screening from adjacent residentially zoned land*
- *154.004(F)(2) Conditional Use Permit Standards (ix) The use will not create an intrusion of excessive noise, glare, or general unsightliness*
- *154.010(E)(3) General Architectural requirements (g) Protection of views. Buildings shall be designed and oriented so as not to detract from one another or to unduly restrict views to open spaces, plazas and vistas.*

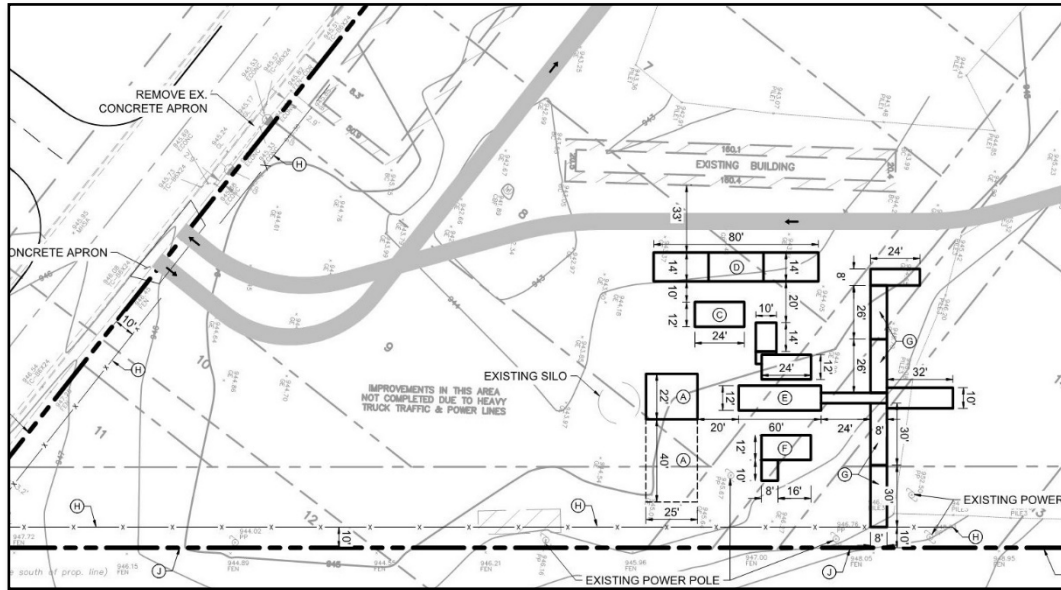
The site is bounded by 2nd St N to the east, 3rd St N to the west, North St. Paul Dr to the north, and the Gateway Trail (MDNR) right-of-way to the south. Beyond the rights-of-way, light industrial uses are located to the east and south, an indoor storage business is located to the west, and Highway 36 is located to the north. To address the appearance of the operation from the townhomes to the southwest and the Gateway Trail users, Schifsky is proposing a six (6) foot tall chain link fence with plastic slats and landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way.

Proposed Uses

- *154.004(F)(2) Conditional Use Permit Standards (iii) The use is compatible with present and future land uses in the surrounding area and reasonably related to the overall needs of the city*
- *154.004(H)(2) Site Plan Review Standards (h) The proposal is in harmony with the general purposes and intent of this chapter and the zoning district in which the applicant intends to locate the proposal.*
- *154.007(C)(1) Permitted, Conditional, and Interim Uses refers to Table 6 for allowed uses within the residential districts.*

The existing asphalt plant is located in the south-central portion of the site, the crushing operations are located in the north-central and central portions of the site, and the related uses (such as maintenance, offices, and indoor storage) is located along the eastern, northern, and

western edges of the site. The asphalt plant is being modified by increasing the one (1) existing silo by adding three (3) new silos, and a scale under the silos, to the southwest of the existing silo. To support the new silos; the oil storage tanks, control room, dryer, bag house, and storage bins are being modified but remain essentially in the same location on the site. The legend and the elevations shown on the site plan indicate that the new silo will not exceed 55 feet in height.



Below is a photograph of the type of silos that will be installed.



Proposed Lot/Structure Dimensional and Setback Requirements

- *154.007(C)(3) refers to Table 4 for the lot requirements within the residential districts.*

Requirement	MU-3	Proposed Silos and Scale
Minimum Lot Size	<i>35,000 Sq. Ft.</i>	7.19 ac (313,315 Sq. Ft.)
Minimum Lot Width	<i>120 Ft</i>	~590 Ft
Front Yard Setback	<i>25 Ft</i>	~200 Ft
Rear Yard Setback	<i>Zero (0) Ft</i>	~190 Ft
Side Yard Setback	<i>Zero (0) Ft</i>	Five (5) Ft
Maximum Height	<i>Five (5) stories or 55 Ft</i>	55 Ft

The lot meets the size and width requirements for the MU-3 Zoning District. The proposed silos and scale addition would comply with all front, rear, and side yard setback requirements, and would be at the maximum building height limit.

Utilities and Municipal Services

- *154.004(F)(2) Conditional Use Standards (v) The use can be adequately supported by public urban services including the water supply, transportation system and capacity, police and fire protection, utilities, and sanitary waste disposal and stormwater disposal systems*
- *154.004(F)(2) Conditional Use Standards (vi) The use will not create an excessive burden on existing parks, schools, and other public facilities which serve or are proposed to serve the area*
- *154.010(A) Development Standards (9) Utility installations. All on site utility installations shall be placed underground.*

The proposed use will not generate any additional demand on parks, schools, or other similar public facilities.

Landscaping

- *154.010(F)(3) Tree requirements (a) Number of trees. Trees must be planted within the property lines and in a location as not to interfere with sight line visibility at maturity. The minimum number of trees of any given site shall be as follows: (iii) MU-2 and MU-3 Districts. Whichever is greater: one tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter.*

Schifsky is proposing landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way. The proposed landscaping includes eight (8) white pines and six (6) black hills spruce along the Gateway Trail and four (4) oaks and two (2) hackberries along 3rd St N for a total of 20 trees. At the requirement of one (1) tree per 50 feet of perimeter, Schifsky's is required to install 16 trees.

Outdoor Storage

- *154.010(D) Supplemental regulations (32) Outdoor Storage (a) Outdoor storage shall be located outside of the front yard setback and shall not be placed between the principal building and the abutting street.*
- *154.010(D) Supplemental regulations (32) Outdoor Storage (b) Outdoor storage shall be completely screened from any adjacent street, sidewalk, public walkway, or public park.*
- *154.010(D) Supplemental regulations (32) Outdoor Storage (c) Outdoor storage shall be screened from abutting residential uses with a wall, solid fencing, evergreen hedge, or equivalent material. All screening shall be six feet in height. Screening along district boundaries, where present, may provide all or part of the required screening*

The silos are located outside of the front yard setback and behind the existing buildings. Schiffsky is proposing a six (6) foot tall chain link fence with plastic slats and landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way.

Drainage/Natural Resources

- *154.010(F) Landscaping Standards (9) Drainage, access & utility easements. No landscape material other than grass, or retaining walls, shall be placed within a drainage, access or utility easement. Rock or riprap may be allowed upon review and approval by the Zoning Administrator provided the proposed material does not interfere with drainage, access or utilities.*

There are no major changes to the drainage/natural resources of the site. The proposed conditions of approval includes obtaining the appropriate stormwater and natural resources permits from the applicable agencies including the City, MPCA, and RWMWD.

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- *154.010(E)(3) General Architectural requirements (e) Pedestrian ways. Buildings shall be designed with proper provision and orientation for a pedestrian system to serve and link development.*

There are no alterations proposed to existing pedestrian ways within the adjacent public rights-of-way.

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- *154.010(J)(3) General Parking Standards. (a) Minimum size regulations. Each space shall contain a minimum area of not less than 180 square feet, exclusive of access drives, a width of not less than nine feet and a depth of not less than 20 feet. Each space shall be adequately served by access drives as determined by the Zoning Administrator. All loading spaces shall be sufficient to meet the requirements of each use and shall provide adequate space for storage and maneuvering of the vehicles they are designed to serve. Parking ramps and underground parking may be allowed to have some reduction in the dimensions stated above.*

The applicant is proposing no additionally on-site employees. Their proposed increase in silos will allow them to compete for more construction contracts and serve as a better subcontractor but the increase in the number of silos does substantially increase their day-to-day operations. Schifsky does not propose to change their current parking infrastructure.

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The application does not propose modifications to the existing accesses to the site. Circulation within the site will change slightly to access the three (3) new silos and scale but the new silos are located immediately southwest of the existing site and therefore changes to the circulation will be relatively minor.

There are currently five accesses to the site: two along 2nd St N to the east, two along 3rd St N to the west, and one along North St. Paul Dr to the north. The two accesses along 2nd St N and two accesses along 3rd St N are both ingress and egress while access onto North St. Paul Dr is an ingress only.

Schifsky's has revised the southern access along 3rd St N to align with the new Anchor Drive on the west side of 3rd St N. Additionally, because the majority of the site is unpaved, there is a recommendation to pave the accesses to minimize the tracking of sediment onto the City streets.

Architecture

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No new buildings are proposed as a part of the silo and scale addition and therefore the architectural standards do not apply. Instead, the outdoor storage of the equipment including the three silos are addressed and mitigated through the conditions of approval of the Conditional Use Permit Amendment.

Lighting

There are no changes proposed to their existing light fixtures.

Engineering Comments:

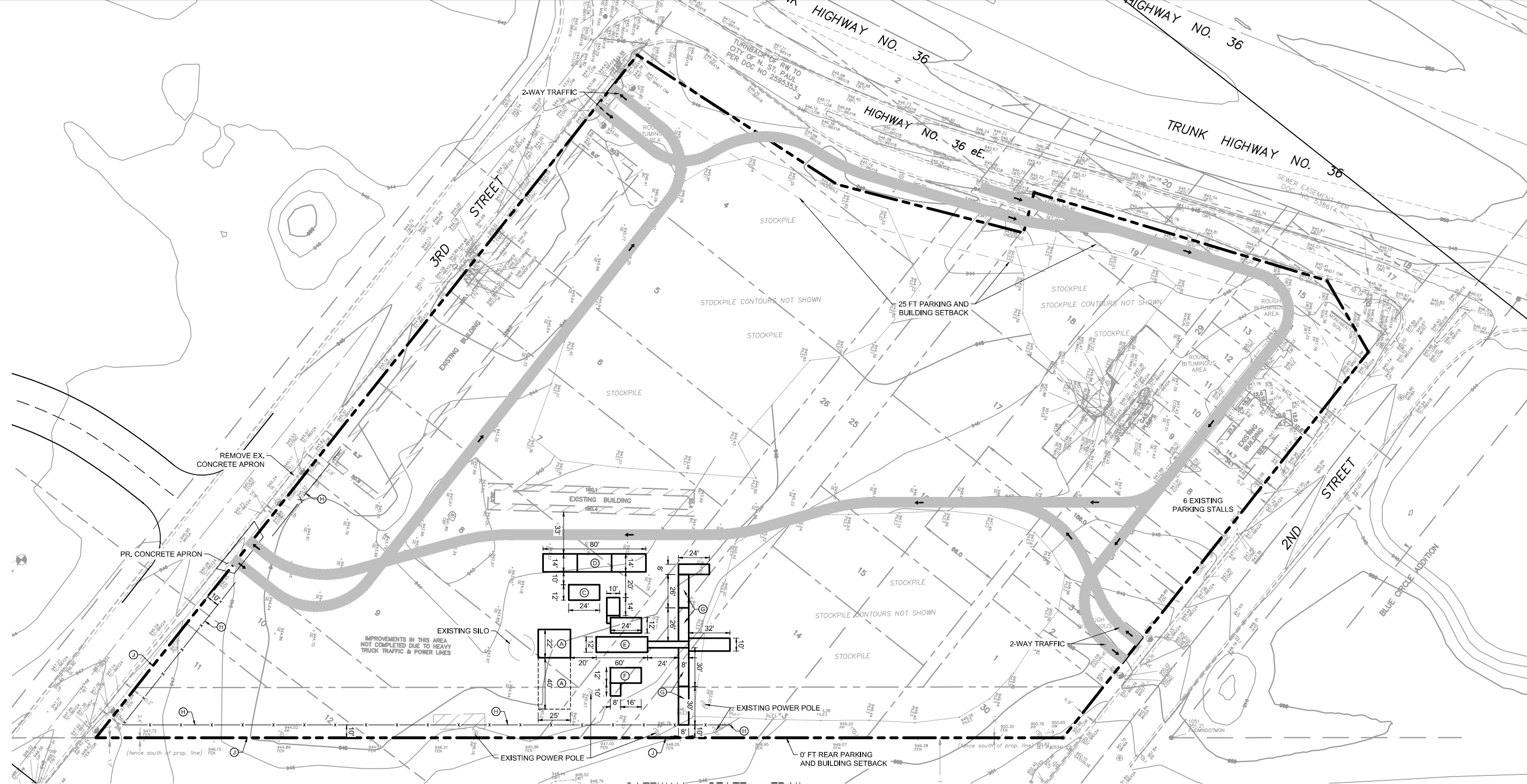
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RECOMMENDED ACTION

Based on the findings described in this report, staff recommends the following actions:

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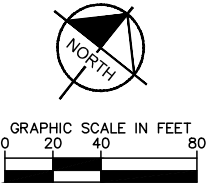
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4. The screening fencing shall be located on the property of 2310 Highway 36 E.



LEGEND	
	PROPERTY LINE
	PROPOSED FENCE
	SETBACK LINE
	PROPOSED CURB AND GUTTER
	PROPOSED HEAVY DUTY ASPHALT
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED CONCRETE SIDEWALK

KEYNOTE LEGEND	
(A)	OIL STORAGE TANKS
(B)	CONTROL HOUSE
(C)	CONTROL HOUSE
(D)	SILO SCALE
(E)	DRYER
(F)	BAG HOUSE
(G)	STORAGE BINS
(H)	REMOVE/SALVAGE EXISTING FENCE LINE, INSTALL 6" CHAIN LINK FENCE WITH PLASTIC SLATS, OFFSET 5' FROM PROPERTY LINE.
(J)	DO NOT DISTURB EXISTING TREES ALONG THE PROPERTY LINE

PROPERTY SUMMARY	
T.A. SCHIFSKY REDEVELOPMENT	
TOTAL PROPERTY AREA	313,315 SF (7.19 AC)
PROPOSED IMPERVIOUS AREA	TBD
PROPOSED PERVIOUS AREA	TBD
TOTAL DISTURBED AREA	TBD
ZONING SUMMARY	
EXISTING ZONING	MU3 - CORRIDOR MIX USE
PROPOSED ZONING	MU3 - CORRIDOR MIX USE
PARKING SETBACKS	SIDE/REAR = 0' ROAD = 25'
BUILDING SETBACKS	FRONT = 25' SIDE = 0' REAR = 0'



PRELIMINARY - NOT FOR CONSTRUCTION

T.A. SCHIFSKY
REDEVELOPMENT
PREPARED FOR

T.A. SCHIFSKY

NORTH ST., PAUL MINNESOTA

SITE PLAN

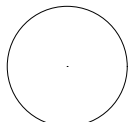
KHA PROJECT	160131000
DATE	05/27/2021
SCALE	AS SHOWN
DESIGNED BY	JPB
DRAWN BY	JPB
CHECKED BY	ALC



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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE 651-445-4197
WWW.KIMLEY-HORN.COM

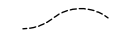
REVISIONS		DATE	BY

LANDSCAPE LEGEND

- 

EXISTING DECIDUOUS TREE (TYP.)
- 

EXISTING CONIFEROUS TREE (TYP.)
- 

EXISTING SHRUB (TYP.)
- 

EDGER (TYP.)
- 

BOULDER (TYP.)

LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) ROCK MULCH (TYP.)
- (D) SOD (TYP.)
- (E) MAINTENANCE STRIP (TYP.)

LANDSCAPE SUMMARY

OVERSTORY TREE REQUIREMENT FOR SITE PERIMETER

TREES REQUIRED: 14 TREES : 1 TREE / 50 LINEAL FT OF SITE PERIMETER
14 TREES : 660 LINEAL FT / 50

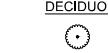
TREES PROVIDED: 14 TREES

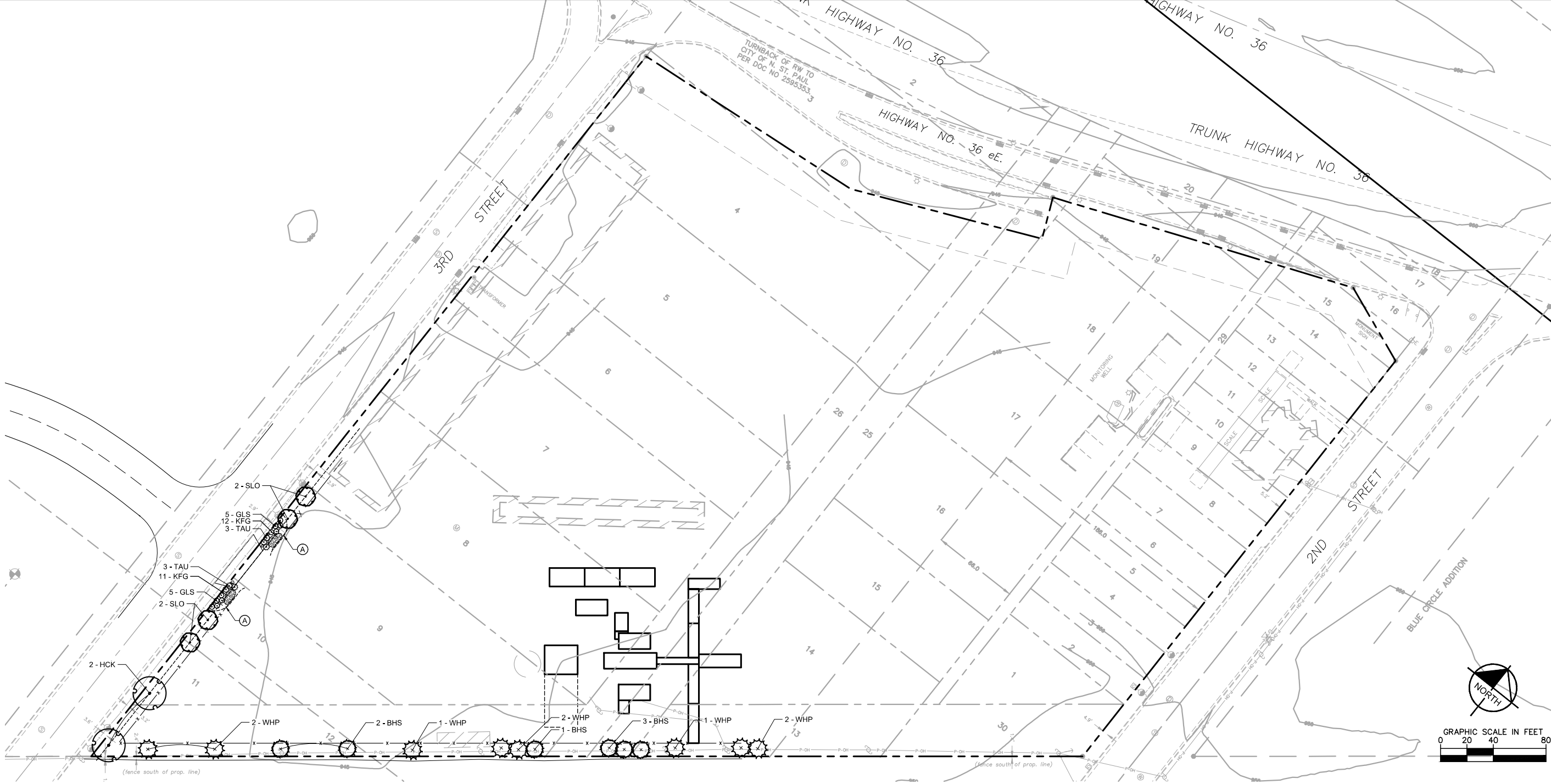
LOT SCREENING

SCREENING REQUIRED: FRONT YARD SCREENING SHALL NOT EXCEED 3.5' IN HEIGHT.
SIDE YARD SCREENING SHALL BE AT LEAST 6.5' IN HEIGHT YEAR ROUND.

SCREENING PROVIDED: FRONT YARD SCREENING OF 3.5' IN HEIGHT AND SIDE YARD SCREENING OF AT LEAST 6.5' IN HEIGHT EVERGREENS

PLANT SCHEDULE

CONIFEROUS TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	BHS	6	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B		6' HT.
	WHP	8	PINUS STROBUS	WHITE PINE	B & B		6' HT.
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	HCK	2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL.	
	SLO	4	QUERCUS X 'SCARLET LETTER'	SCARLET LETTER COLUMNAR OAK	B & B	2.5" CAL.	
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	TAU	6	TAXUS X MEDIA 'TAUNTONII'	TAUTON YEW	#5 CONT.	5' O.C.	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	GLS	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	KFG	28	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT	30" OC	30" o.c.



PRELIMINARY - NOT FOR CONSTRUCTION

T.A. SCHIFSKEY
REDEVELOPMENT
PREPARED FOR

T.A. SCHIFSKEY

NORTH ST., PAUL MINNESOTA

SHEET NUMBER
L100

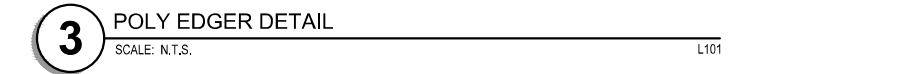
LANDSCAPE PLAN

KHA PROJECT	160131000
DATE	05/27/2021
SCALE	AS SHOWN
DESIGNED BY	XXX
DRAWN BY	XXX
CHECKED BY	XXX

Kimley»Horn

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REVISIONS	No.	DATE	BY



- PRELIMINARY - NOT FOR CONSTRUCTION

NORTH ST. PAUL
MINNESOTA

Page 22 of 34

[illegible]

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WWW.KIMLEY-HORN.COM

KHA PROJECT 160131000	DATE 05/27/2021	SCALE AS SHOWN	DESIGNED BY CFFK	DRAWN BY CFFK	CHECKED BY ALC
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MEMORANDUM

Date: 5/28/2021
To: Planning Commissioners
From: Eric Zweber, AICP, City Planner
CC: Scott Duddeck, City Manager
Re: Outdoor Storage Conditional Use Permit for Three (3) New Silos and a Scale at T.A. Schifsky & Sons (2310 Highway 36 E)

BACKGROUND

T.A Schifsky & Sons, Inc. (Schifsky) operates an asphalt plant, crushing operation, and related uses on the subject property and adjacent properties. The existing operation is a legal nonconforming use. Rob Stangler of Schifsky has submitted an application for a Conditional Use Permit Amendment to facilitate the expansion of their asphalt plant through the addition of three (3) silos, a scale, and associated equipment at 2310 Highway 36 E. The property is zoned MU-3 – Corridor Mixed-Use.

On May 27, 2021, the Planning Commission conducted a Public Hearing for the application. No comments were provided by any members of the public. The Planning Commission continued the review of the Conditional Use Permit until the June 3, 2021 Planning Commission meeting to allow the applicant to provide information on the landscaping and screening of the silos and a commitment to cooperate with the City in considering murals being painted onto the silos.

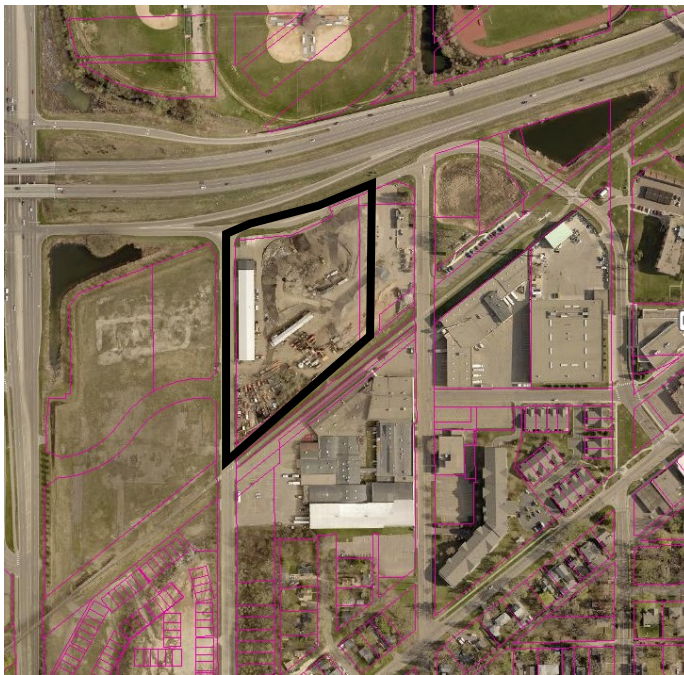


Figure 1: Location Map



Figure 2: Zoning Map

GENERAL STAFF REVIEW

Administrative Consideration

Nonconforming Use

- 154.009 (C) MU-3 Zone Expansion exception. A building permit may be granted to a nonconforming use in the MU-3 zone if all of the following are met:
- 154.009 (C)(1) The expansion of the use involves an expansion of no more than 10% of the gross floor area of the building;
- 154.009 (C)(2) The modification of the use consists of an expansion amounting to no more than 10% of the approved gross floor area;
- 154.009 (C)(3) When the expansion of the use is otherwise consistent with all other sections of this chapter;
- 154.009 (C)(4) And, when such expansion of the use eliminates an adverse effect or condition which is inconsistent with the MU-3 District or the approved plan for the area, and/or when such modification is determined to result in an improvement consistent with the objectives of the area and the total use of the site, and/or when such modification would lead to a more rapid implementation of the Comprehensive Plan and MU-3

District objectives while providing good aesthetics and functionality during the interim (time period between the nonconforming use and a conforming use of the property).

Zoning Ordinance Section 154.003 (C) allows City staff to review and approve an expansion of a non-conforming use within the MU-3 zoning district provided that the expansion meets the four (4) criteria within the Ordinance. There is no expansion of any of the buildings that exist on the site. There is no increase in the amount of land (gross square footage) occupied by their use. With the clarification that the silos will not exceed 55 feet in height, the proposed increase in the number of silos is consistent with all other provisions of the Zoning Ordinance. The screening of the new silos will occur through a six (6) foot tall fence with plastic slats and landscaping along the perimeter of the site. This screening meets the requirements for outdoor storage and fencing requirements, but staff is concerned that a chain link fence with plastic slats is not the best aesthetic choice for screening as require in 015.009(C)(4).

Planning Commission Consideration

Consistency with the City Plans

- *154.004 (F)(2) Conditional Use Permit Standards (i) The use is in harmony and consistent with the general purposes and intent of the Comprehensive Plan.*
- *154.004 (F)(2) Conditional Use Permit Standards (vii) The use is in harmony with the general purposes and intent of this chapter and the zoning district in which the applicant intends to locate the proposed use*
- *154.004 (F)(2) Conditional Use Permit Standards (x) If applicable, the proposed use is consistent with officially adopted city plans and overlays*

At the Community Cafes that were conducted during the 2040 Comprehensive Plan, “(p)rotect the existing industry in the city” was one of the common themes that was received. The McKnight Employment Center District within the Economic Development Chapter of the 2040 Comprehensive Plan states to “(p)lan for long-term redevelopment of entire (site), but recognize and mitigate the impacts on immediate and short term development.”

The 2040 Comprehensive Plan guides the subject property as Corridor Mixed Use, which encourages the combination of retail development with a variety of housing, offices, live-work spaces, employment activities, and other complementary uses. As of 2017, Schifsky was the fifth largest employer within North St. Paul with 80 employees. The improvements to Schifsky’s asphalt plant will allow them to remain competitive and remain a major employer in the short term. Within the 2040 Comprehensive Plan, the Schifsky site is identified for redevelopment after 2040.

Outdoor Storage is listed as a Conditional Use within the MU-3 Zoning District that the subject property is located in.

Health, Safety, and General Welfare

- *154.004 (F)(2) Conditional Use Permit Standards (ii) The use will not adversely affect the health, safety, or general welfare of the city.*

Schifsky has operated an asphalt plant, crushing operation, and related uses at this site for more than 50 years. The current asphalt construction market requires a variety of different asphalt mixes for a single construction project. The additional silos will allow Schifsky to supply these different asphalt mixes simultaneously. The additional silos will not change the operations affect on the health, safety, and general welfare of the City.

Compatibility with Surrounding Context

- *154.004(F)(2) Conditional Use Permit Standards (iv) The use or appearance of the use is compatible with adjacent properties*
- *154.004(F)(2) Conditional Use Permit Standards (vii) The use will be sufficiently compatible or separated by distance or screening from adjacent residentially zoned land*
- *154.004(F)(2) Conditional Use Permit Standards (ix) The use will not create an intrusion of excessive noise, glare, or general unsightliness*
- *154.010(E)(3) General Architectural requirements (g) Protection of views. Buildings shall be designed and oriented so as not to detract from one another or to unduly restrict views to open spaces, plazas and vistas.*

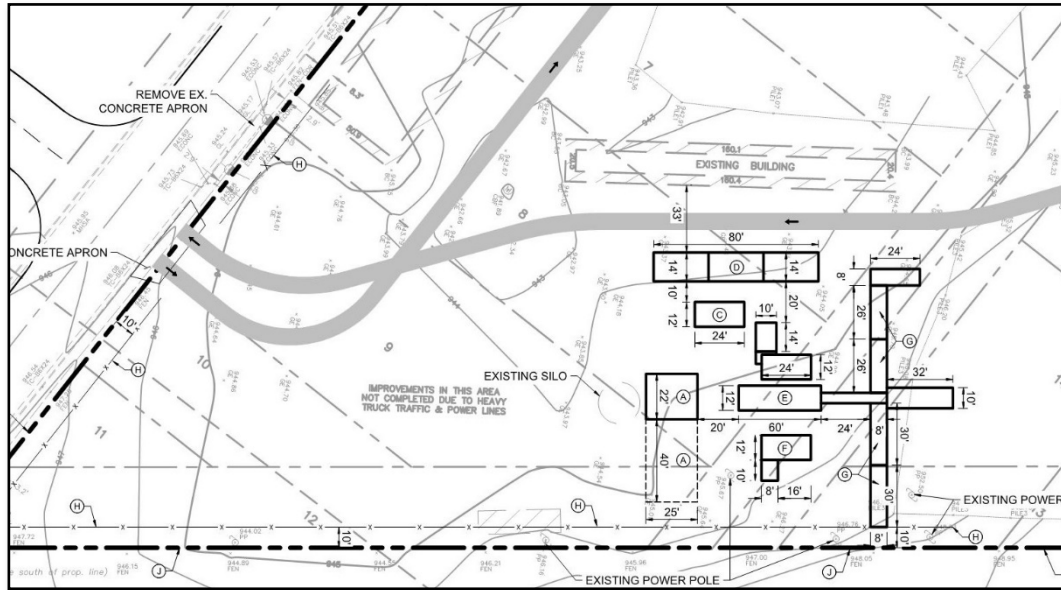
The site is bounded by 2nd St N to the east, 3rd St N to the west, North St. Paul Dr to the north, and the Gateway Trail (MDNR) right-of-way to the south. Beyond the rights-of-way, light industrial uses are located to the east and south, an indoor storage business is located to the west, and Highway 36 is located to the north. To address the appearance of the operation from the townhomes to the southwest and the Gateway Trail users, Schifsky is proposing a six (6) foot tall chain link fence with plastic slats and landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way.

Proposed Uses

- *154.004(F)(2) Conditional Use Permit Standards (iii) The use is compatible with present and future land uses in the surrounding area and reasonably related to the overall needs of the city*
- *154.004(H)(2) Site Plan Review Standards (h) The proposal is in harmony with the general purposes and intent of this chapter and the zoning district in which the applicant intends to locate the proposal.*
- *154.007(C)(1) Permitted, Conditional, and Interim Uses refers to Table 6 for allowed uses within the residential districts.*

The existing asphalt plant is located in the south-central portion of the site, the crushing operations are located in the north-central and central portions of the site, and the related uses (such as maintenance, offices, and indoor storage) is located along the eastern, northern, and

western edges of the site. The asphalt plant is being modified by increasing the one (1) existing silo by adding three (3) new silos, and a scale under the silos, to the southwest of the existing silo. To support the new silos; the oil storage tanks, control room, dryer, bag house, and storage bins are being modified but remain essentially in the same location on the site. The legend and the elevations shown on the site plan indicate that the new silo will not exceed 55 feet in height.



Below is a photograph of the type of silos that will be installed.



Proposed Lot/Structure Dimensional and Setback Requirements

- *154.007(C)(3) refers to Table 4 for the lot requirements within the residential districts.*

Requirement	MU-3	Proposed Silos and Scale
Minimum Lot Size	<i>35,000 Sq. Ft.</i>	7.19 ac (313,315 Sq. Ft.)
Minimum Lot Width	<i>120 Ft</i>	~590 Ft
Front Yard Setback	<i>25 Ft</i>	~200 Ft
Rear Yard Setback	<i>Zero (0) Ft</i>	~190 Ft
Side Yard Setback	<i>Zero (0) Ft</i>	Five (5) Ft
Maximum Height	<i>Five (5) stories or 55 Ft</i>	55 Ft

The lot meets the size and width requirements for the MU-3 Zoning District. The proposed silos and scale addition would comply with all front, rear, and side yard setback requirements, and would be at the maximum building height limit.

Utilities and Municipal Services

- *154.004(F)(2) Conditional Use Standards (v) The use can be adequately supported by public urban services including the water supply, transportation system and capacity, police and fire protection, utilities, and sanitary waste disposal and stormwater disposal systems*
- *154.004(F)(2) Conditional Use Standards (vi) The use will not create an excessive burden on existing parks, schools, and other public facilities which serve or are proposed to serve the area*
- *154.010(A) Development Standards (9) Utility installations. All on site utility installations shall be placed underground.*

The proposed use will not generate any additional demand on parks, schools, or other similar public facilities.

Landscaping

- *154.010(F)(3) Tree requirements (a) Number of trees. Trees must be planted within the property lines and in a location as not to interfere with sight line visibility at maturity. The minimum number of trees of any given site shall be as follows: (iii) MU-2 and MU-3 Districts. Whichever is greater: one tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter.*

Schifsky is proposing landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way. The proposed landscaping includes eight (8) white pines and six (6) black hills spruce along the Gateway Trail and four (4) oaks and two (2) hackberries along 3rd St N for a total of 20 trees. At the requirement of one (1) tree per 50 feet of perimeter, Schifsky's is required to install 16 trees.

Outdoor Storage

- *154.010(D) Supplemental regulations (32) Outdoor Storage (a) Outdoor storage shall be located outside of the front yard setback and shall not be placed between the principal building and the abutting street.*
- *154.010(D) Supplemental regulations (32) Outdoor Storage (b) Outdoor storage shall be completely screened from any adjacent street, sidewalk, public walkway, or public park.*
- *154.010(D) Supplemental regulations (32) Outdoor Storage (c) Outdoor storage shall be screened from abutting residential uses with a wall, solid fencing, evergreen hedge, or equivalent material. All screening shall be six feet in height. Screening along district boundaries, where present, may provide all or part of the required screening*

The silos are located outside of the front yard setback and behind the existing buildings. Schiffsky is proposing a six (6) foot tall chain link fence with plastic slats and landscaping along western 520 feet of the boundary of the Gateway Trail and along southern 260 feet of the 3rd St N right-of-way.

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- *154.010(F) Landscaping Standards (9) Drainage, access & utility easements. No landscape material other than grass, or retaining walls, shall be placed within a drainage, access or utility easement. Rock or riprap may be allowed upon review and approval by the Zoning Administrator provided the proposed material does not interfere with drainage, access or utilities.*

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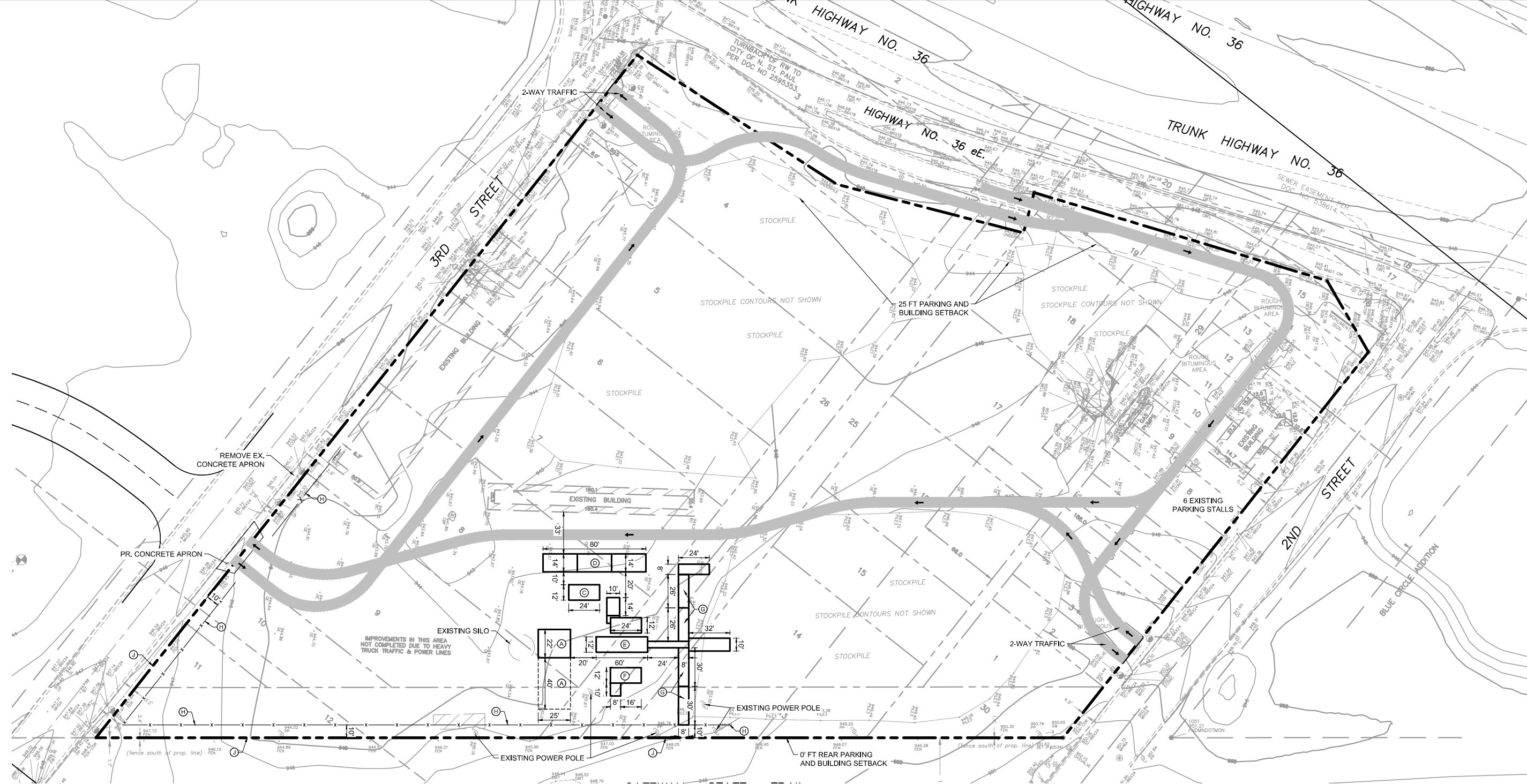
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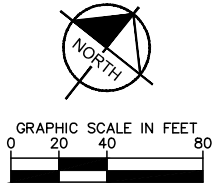
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	SETBACK LINE
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	PROPOSED CONCRETE SIDEWALK

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(B)	CONTROL HOUSE
(C)	CONTROL HOUSE
(D)	SILO SCALE
(E)	DRYER
(F)	BAG HOUSE
(G)	STORAGE BINS
(H)	REMOVE/SALVAGE EXISTING FENCE LINE, INSTALL 6" CHAIN LINK FENCE WITH PLASTIC SLATS, OFFSET 5' FROM PROPERTY LINE.
(J)	DO NOT DISTURB EXISTING TREES ALONG THE PROPERTY LINE

PROPERTY SUMMARY	
T.A. SCHIFSKY REDEVELOPMENT	
TOTAL PROPERTY AREA	313,315 SF (7.19 AC)
PROPOSED IMPERVIOUS AREA	TBD
PROPOSED PERVIOUS AREA	TBD
TOTAL DISTURBED AREA	TBD
ZONING SUMMARY	
EXISTING ZONING	MU3 - CORRIDOR MIX USE
PROPOSED ZONING	MU3 - CORRIDOR MIX USE
PARKING SETBACKS	SIDE/REAR = 0' ROAD = 25'
BUILDING SETBACKS	FRONT = 25' SIDE = 0' REAR = 0'



PRELIMINARY - NOT FOR CONSTRUCTION

T.A. SCHIFSKY
REDEVELOPMENT
PREPARED FOR

T.A. SCHIFSKY

NORTH ST., PAUL MINNESOTA

SITE PLAN

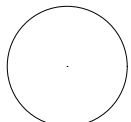
KHA PROJECT	160131000
DATE	05/27/2021
SCALE	AS SHOWN
DESIGNED BY	JPB
DRAWN BY	JPB
CHECKED BY	ALC



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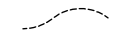
REVISIONS		DATE	BY

LANDSCAPE LEGEND

- 

EXISTING DECIDUOUS TREE (TYP.)
- 

EXISTING CONIFEROUS TREE (TYP.)
- 

EXISTING SHRUB (TYP.)
- 

EDGER (TYP.)
- 

BOULDER (TYP.)

LANDSCAPE KEYNOTES

- (A)

EDGER (TYP.)
- (B)

DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C)

ROCK MULCH (TYP.)
- (D)

SOD (TYP.)
- (E)

MAINTENANCE STRIP (TYP.)

LANDSCAPE SUMMARY

OVERSTORY TREE REQUIREMENT FOR SITE PERIMETER

TREES REQUIRED: 14 TREES : 1 TREE / 50 LINEAL FT OF SITE PERIMETER
14 TREES : 660 LINEAL FT / 50

TREES PROVIDED: 14 TREES

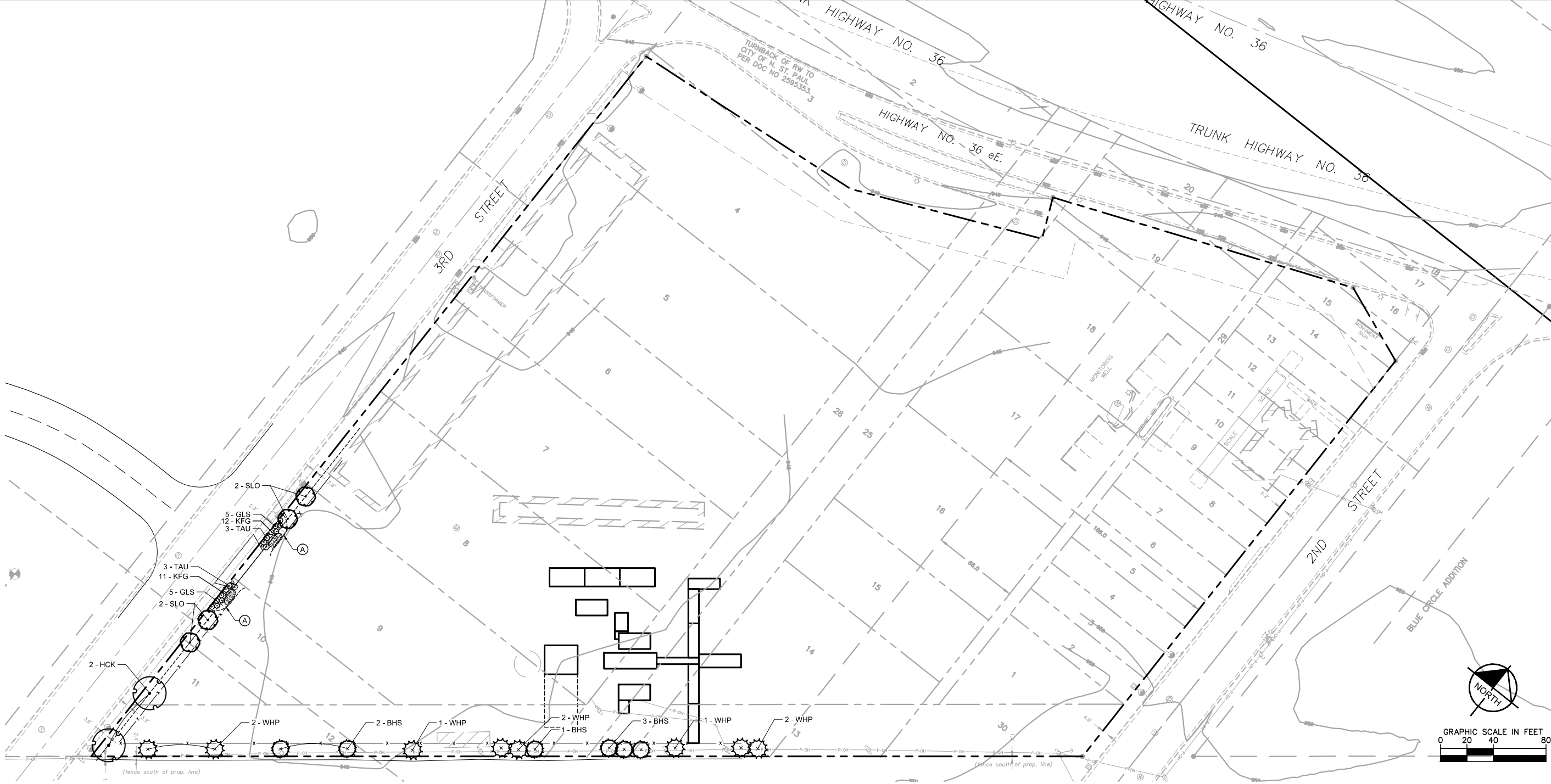
LOT SCREENING

SCREENING REQUIRED: FRONT YARD SCREENING SHALL NOT EXCEED 3.5' IN HEIGHT.
SIDE YARD SCREENING SHALL BE AT LEAST 6.5' IN HEIGHT YEAR ROUND.

SCREENING PROVIDED: FRONT YARD SCREENING OF 3.5' IN HEIGHT AND SIDE YARD SCREENING OF AT LEAST 6.5' IN HEIGHT EVERGREENS

PLANT SCHEDULE

CONIFEROUS TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	BHS	6	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	B & B		6' HT.
	WHP	8	PINUS STROBUS	WHITE PINE	B & B		6' HT.
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	HCK	2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2.5" CAL.	
	SLO	4	QUERCUS X 'SCARLET LETTER'	SCARLET LETTER COLUMNAR OAK	B & B	2.5" CAL.	
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	TAU	6	TAXUS X MEDIA 'TAUNTONII'	TAUTON YEW	#5 CONT.	5' O.C.	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	GLS	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.	
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	KFG	28	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT	30" OC	30" o.c.



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KHA PROJECT
160131000

DATE
05/27/2021

SCALE
AS SHOWN

DESIGNED BY
XXX

DRAWN BY
XXX

CHECKED BY
XXX

LANDSCAPE PLAN

T.A. SCHIFSKEY
REDEVELOPMENT
PREPARED FOR
T.A. SCHIFSKEY
MINNESOTA
NORTH ST., PAUL

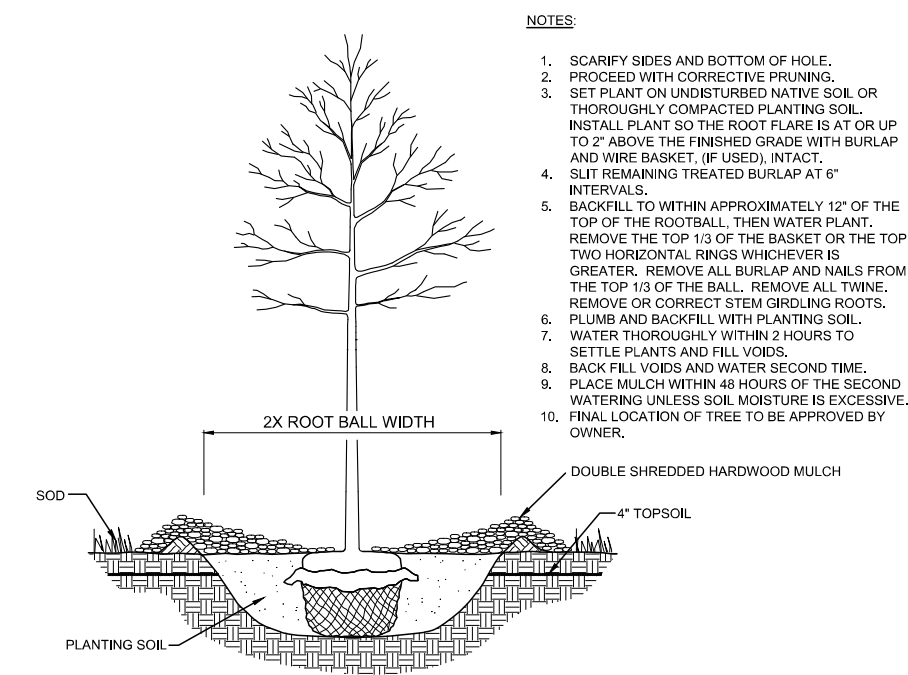
SHEET NUMBER
L100

REVISIONS

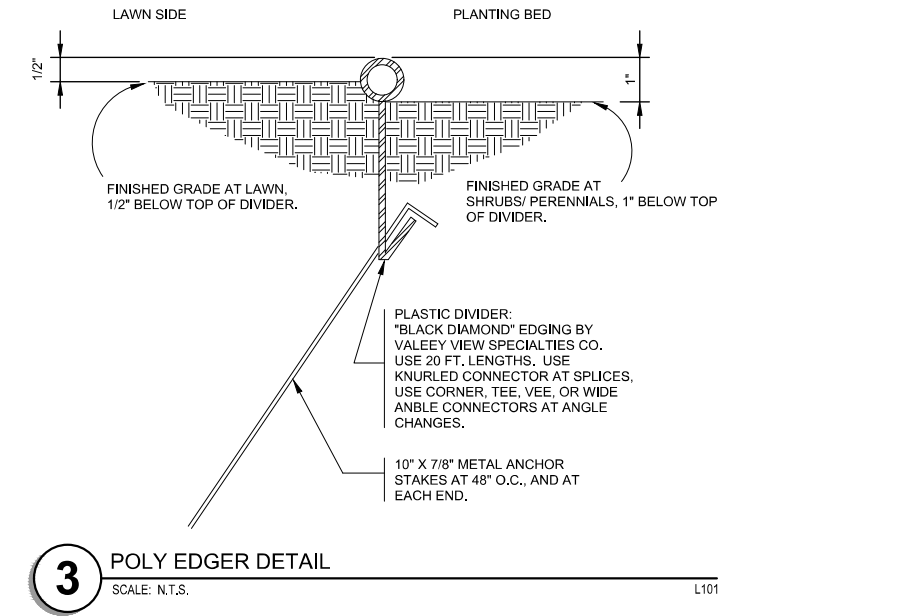
No.	DATE	BY

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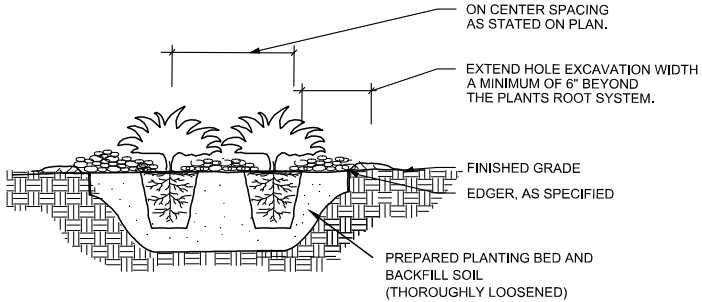
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1 TREE PLANTING DETAIL
SCALE: N.T.S. L101



3 POLY EDGER DETAIL
SCALE: N.T.S. L101



2 SHRUB / PERENNIAL PLANTING DETAIL
SCALE: N.T.S. L101

LANDSCAPE NOTES

1. CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
2. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
3. NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
5. CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
6. ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
7. PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
8. PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
9. PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
10. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
11. OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
12. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
13. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
14. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
15. THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
16. BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
17. MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF DOUBLE SHREDDED HARDWOOD MULCH. DOUBLE SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH DOUBLE SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
18. EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE. FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
19. ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SODDED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
20. PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
21. CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
22. REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
23. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
24. RAIN GARDEN NOTE: PROVIDE AND INSTALL EROSION CONTROL BLANKET AT RAIN GARDEN AREA SIDE SLOPES AFTER ALL PLANTING HAVE BEEN INSTALLED. BLANKET TO BE ONE SEASON GEOJUTE, MN/DOT CATEGORY 2 (STRAW 1S, WOOD FIBER 1S), OR APPROVED EQUAL. BLANKET TO BE OVERLAPPED BY 4" AND ANCHORED BY SOD STAPLES. PLACE BLANKET PERPENDICULAR TO THE SLOPE. TRENCH IN EDGES OF BLANKET AREA TO PREVENT UNDER MINING. PROVIDE SILT FENCE AT TOP OF SLOPE AS NEEDED. SHREDDED HARDWOOD MULCH TO MATCH OTHER PROJECT PLANTING MULCH. PLACE 4" DEPTH OF MULCH AT ALL PLANTING AND EROSION CONTROL BLANKET AREA (NO FILTER FABRIC). SEE RAIN GARDEN DETAIL FOR FURTHER INFORMATION. RAIN GARDEN TO PROVIDE PROPER INFILTRATION AND DRAINAGE REQUIREMENTS PER ENGINEERS APPROVAL.

PRELIMINARY - NOT FOR CONSTRUCTION

SHEET NUMBER		L101		NORTH ST. PAUL		MINNESOTA	
T.A. SCHIFSKY REDEVELOPMENT PREPARED FOR		T.A. SCHIFSKY		NORTH ST. PAUL		MINNESOTA	
LANDSCAPE DETAILS		KHA PROJECT 160131000 DATE 05/27/2021		SCALE AS SHOWN		DESIGNED BY CFK	
						DRAWN BY CFK	
						CHECKED BY ALC	
				Kimley»»Horn		2018 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE 651-445-4197 WWW.KIMLEY-HORN.COM	