

**CITY OF NORTH ST. PAUL PLANNING COMMISSION
REGULAR MEETING AGENDA
THURSDAY, DECEMBER 5TH, 2019
6:15 PM**

North St. Paul City Hall – Council Chambers
2400 Margaret Street

I. CALL TO ORDER

**II. ROLL CALL
COMMISSION**

Elaine Barton, Commission Chair
Michael Stahlmann, Commissioner
Tom Sonnek, Commission City Council Liaison
Chris Bathurst, Commissioner
Rick Gelbmann, Commissioner
Trisha Hamm, Commission Vice- Chair
John Wahl, Commissioner
Allan Worm, Commissioner
STAFF
Erin Perdu, Planning Consultant
Olivia Boerschinger, Planning Secretary

III. ADOPT AGENDA

IV. APPROVAL OF MINUTES

- A.** Approval the November 7th, 2019 regular meeting minutes

V. MEETING OPEN TO THE PUBLIC

Note: This is a courtesy extended to persons wishing to address the Commission concerning issues that are not on the agenda. This discussion will be limited to 15 minutes.

VI. PUBLIC HEARING

- A.** Rezoning, Major Subdivision, and Planned Unit Development - 2242 7th St. N.
- B.** Minor Subdivision, Preliminary Plat, and Final Plat – 2300 McKnight Rd.

VII. OLD BUSINESS

- A.** Parking Ordinance Discussion

VIII. COMMISSION BUSINESS ACTION ITEMS & RECOMMENDATIONS

- A.** Preliminary Planned Unit Development – 0 Burke

IX. REPORTS FROM STAFF

X. REPORTS FROM COMMISSIONERS

- A.** Update from City Council Liaison

XI. ADJOURNMENT

The next regularly scheduled Planning Commission Meeting is Thursday, January 2nd, 2019 at 6:15 p.m.

**CITY OF NORTH ST. PAUL
PLANNING COMMISSION
REGULAR MEETING MINUTES
THURSDAY, NOVEMBER 7, 2019
6:15 P.M.**

North St. Paul City Hall – Council Chambers
2400 Margaret Street

I. CALL TO ORDER

Chair Barton called the meeting to order at 6:15 p.m.

II. ROLL CALL

COMMISSION

Elaine Barton, Commission Chair

Michael Stahlmann, Commissioner

Tom Sonnek, Commission City Council Liaison

ABSENT AND EXCUSED

Chris Bathurst, Commissioner

ABSENT AND EXCUSED

Rick Gelbmann, Commissioner

Trisha Hamm, Commission Vice Chair

John Wahl, Commissioner

Allan Worm, Commissioner

STAFF

Ryan Krzos, Planning Consultant

Olivia Boerschinger, Planning Secretary

III. ADOPT AGENDA

Chair Barton requested the following correction to the Agenda:

Agenda Item VII. Old Business, 0 Burke Avenue, Continuation of Public Hearing

Motion by Commissioner Stahlmann, and seconded by Commissioner Gelbmann, with all present voting aye (6-0). Motion carried to adopt the November 7, 2019 Agenda as amended.

IV. APPROVAL OF MINUTES

A. Approval of September 12 regular meeting minutes.

Motion to approve Minutes by Commissioner Wahl, and seconded by Commissioner Worm, with all present voting aye (6-0). Motion carried to approve the September 12, 2019 regular meeting minutes as submitted.

B. Approval of October 3, 2019 regular meeting minutes.

Commissioner Gelbmann requested the following correction:

-Page 5, 6th paragraph 6, 1st line, replace “Gelbmann” with “Worm”

Commissioner Gelbmann requested the following correction:

-Page 7, 1st paragraph, 2nd line, 1st word, replace “north” with “south”

Chair Barton requested the following correction:

Page 7, 9th paragraph, replace “Parking” with “Zoning”

Motion by Commissioner Hamm, and seconded by Commissioner Gelbmann, with all present voting aye (6-0). Motion carried to approve the October 3, 2019 regular meeting minutes as amended.

V. MEETING OPEN TO THE PUBLIC

Don Bieniek. 2146 Belmont Lane East, stated the September 12, 2019 meeting minutes refer to a resident, Nea Tao, and the address listed for Mr. Tao is incorrect.

Mr. Bieniek stated the minutes also refer to 2320 17th Avenue, which is not correct. He added it should be 2329 17th Avenue.

VI. PUBLIC HEARING

A. Minor Subdivision and Conditional Use Permit (Special Infill Housing) – 2104 Eldridge Avenue E.

Ryan Krzos, Planning Consultant, reviewed an application from Seth Peterson on behalf of Coastland Productions, Inc., for a Preliminary Plat for Minor Subdivision and Conditional Use Permit for special infill housing at 2104 Eldridge Avenue E. The site, just over .5 acres, is currently zoned R-1 single family residential, and the applicant wants to subdivide the property and a portion of an adjoining lot, to create 3 new single-family home lots. The existing home sits on what will be a 4th lot, with the home demolished and rebuilt.

Mr. Krzos stated the infill process is being requested as the lots would be deficient in terms of lot area and lot width, which is allowed through that process. The new lots would be 7,415 square feet, which is 6.3% below the minimum required lot size of 7,920 square feet. Lot widths of 59.91 are very close to the required 60 feet.

Mr. Krzos stated, in addition to regular standards for Conditional Use approval, the Staff Report outlines particular supplemental regulations for special infill housing. He added the parcel must be within 10% of conventional dimensional design standards; homes must be of quality design and materials; and layout must be sensitive to adjacent properties. He noted the applicant uses a standard residential form of split-level ranch with vinyl siding and asphalt pitched roof.

Mr. Krzos stated City Staff has indicated there is a contradiction with Comprehensive Plan guidance for low density. He added the 3-5.5 units per acre threshold does not account for special infill housing, and the proposed sites are denser than the Comprehensive Plan guidance. He noted, however, the 4th parcel creates density of just over 5 units per acre.

Mr. Krzos stated City Staff recommends that the Planning Commission recommend City Council approval of the Preliminary Plat and CUP.

Chair Barton opened the Public Hearing at 6:27 p.m.

Laurene Gruett, 2097 Eldridge Avenue East, stated her property is directly across from the proposed homes. She added she has lived at this location for 35 years. She noted properties in this neighborhood are oversized lots, with reasonable amounts of space between houses, and the new development will have 3 houses that will be packed into the space.

Ms. Gruett stated the proposed lots do not fit in with the character of the neighborhood. She added they do not have adequate lot width of 60 feet. She added 2 houses would be appropriate, but not 3 houses.

Corbin Swenson, 2131 Eldridge Avenue E, stated he lives near the proposed homes and has lived at that location for 47 years. He added he wanted to clarify that there are many 60-foot wide lots in the neighborhood. He noted the neighborhood is not filled with oversized lots.

Don Bieniek stated lot widths in North St. Paul were set at 65 feet when they were platted 40 years ago. Chair Barton confirmed the minimum lot width was changed in 2015 to 60 feet when the City Code was updated in 2015.

Chair Barton closed the public hearing at 6:33 p.m.

Mr. Krzos stated the required minimum lot width in R1 is 60 feet by current standards, although special infill housing is allowed through the issuance of a Conditional Use Permit. He added this process allows a 10% reduction lot width with 54 feet width at the lower end.

Commissioner Stahlmann asked what the lot widths are at 2103, 2107, 2113, and 2117 Eldridge Avenue. He added these properties are across the alley from the proposed lots. Mr. Krzos stated he does not have the dimensions of these properties.

Commissioner Stahlmann stated the map shows there are four lots and a half of a fifth lot across the alley from the proposed lots. He added this is the same amount of space as the proposed lots. Mr. Krzos confirmed that appears to be the case.

Commissioner Gelbmann expressed concern about the grade on the proposed lots, adding it seems to be steeper than that which is indicated on the contour map. He added stormwater run-

off is a concern with new developments. Mr. Krzos stated this proposal was reviewed and approved by the City Engineer.

Sue Polka, WSB Engineer, stated the plans were reviewed to ensure that neighboring properties are not adversely affected by grading on the proposed lots. She added it was determined that the grades will not be changed significantly, and no additional runoff is expected from the proposed lots.

Chair Barton asked whether the engineering review took into account the increase in impervious space, with additional driveways, and whether there will be an impact on drainage.

Ms. Polka stated there is no requirement for that type of review due to the small size of the proposed development. She added it has been determined that the existing grading will not change significantly.

Commissioner Gelbmann stated he would support additional recommendations that would address grading and drainage. He stressed the importance of not creating problems for the neighborhoods residents and ensuring that surface water is reduced.

Seth Peterson, the proposed project's contractor, stated he lives in the neighborhood at 2128 Eldridge Avenue. He added, as a resident, he appreciates the concern of the Planning Commission. He noted he would rather not see any water retained on properties in this neighborhood due to the high level of the water table.

Ms. Gruett stated her basement has flooded five times in the past 2 years. She added the neighbors behind her property moved away due to constant flooding. She noted there is a high water table level in the neighborhood and groundwater does not drain well.

Commissioner Wahl stated there is a 5-foot side yard easement that serves as an area for drainage to the street, and no obstruction can be placed in that area that would restrict water flow.

Councilmember Wahl stated the proposed special infill housing could have a minimum livable space of 900 square feet, but the floor plans show 5-bedroom homes with 2,566 square feet. He added he was impressed by that as it is considered low-density housing.

Commissioner Gelbmann asked about storm sewer capacity in the area. Ms. Polka stated a review of overall capacity in the area was completed and the development fits within that capacity.

Commissioner Gelbmann encouraged the developer to do careful analysis to determine how the potential for flooding will be addressed and accommodated.

Councilmember Stahlmann stated the proposed homes would be split-level homes with sumps and will not have full basements. He added the plans are well-thought out and he supports the development.

Chair Barton asked whether the new homes will be identical. Mr. Peterson stated the home facades will be different, and one house will be reversed. He added most of the trees will be saved, and 1 tree will be added to each front yard.

Commissioner Worm stated very little water is absorbed into the ground surface in this area because of the high water table. He added, in his opinion, new buildings are not going to change that. He noted the last 2 years have been very wet.

Chair Barton asked whether 4 separate CUP requests will be required. Mr. Krzos confirmed this.

Chair Barton stated the special infill housing request meets the City's standards and should be recommended for approval by the City Council.

Commissioner Wahl requested that a condition be added to approval that the developer and City Engineer will review overall drainage on the sites, and not just as it relates to Parcel C. Chair Barton stated that issue is covered under Item J related to drainage away from the homes, and minimum required slope. She added the Commission's concerns regarding drainage can be reflected in City Staff's presentation to the City Council. Mr., Krzos agreed.

Motion by Commissioner Stahlmann, and seconded by Commissioner Wahl, with all present voting aye (6-0). Motion carried to recommend City Council approval of a Preliminary Plat subject to conditions listed in the Staff Report - 2104 Eldridge Avenue E.

Motion by Commissioner Gelbmann, and seconded by Commissioner Hamm, with all present voting aye (6-0). Motion carried to recommend City Council approval of Conditional Use Permits (Special Infill Housing) subject to conditions listed in the Staff Report – 2104 Eldridge Avenue E.

Planning Secretary Olivia Boerschinger stated this request will be reviewed by the City Council at their November 19, 2019 Regular Meeting.

VII. OLD BUSINESS

A. 0 Burke Avenue Planned Unit Development - Continuation of Public Hearing

Mr. Krzos reviewed continuation of consideration of a proposed Planned Unit Development for 0 Burke Avenue. The 0 Burke portion of the property is undeveloped and legally non-conforming, and zoned MU-3 (Mixed Use). The adjacent 5th Street parcel is zoned R-3, and there is an existing 4-unit multi-family structure on that parcel. The proposal is for a 6-unit multi-family building with 3 three-bedroom units and 3 two-bedroom units.

Mr. Krzos stated the PUD process provides the City with flexibility in applying Zoning Ordinance standards in exchange for gaining public benefit through preservation of open space and unique design. He added, in this case, the PUD is requested to share the access drive, parking facilities and open space while preserving the wetland on site. He noted the wetland regulations are under the purview of the Ramsey-Washington Metro Watershed District, and they have reviewed this proposal and determined it is acceptable from wetland regulatory standpoint.

Mr. Krzos stated the applicant would be required to provide a more specific plan for the shared open space and how it will function for this development. He added final details regarding parking configuration would also need to be confirmed. The proposed 3-story structure would be of a traditional design structure with exterior brick and vinyl and pitched asphalt roof, with landscape screening to be added in the area directly south of the building. City Ordinance does not allow landscaping in the utility easement area.

Mr. Krzos stated City Staff recommends that the Planning Commission recommend City Council approval with a number of conditions as outlined in the Staff Report.

Commissioner Gelbmann requested clarification regarding soil borings referenced in the Watershed District's review. He added it is unclear from the map they presented whether the soil borings were completed on this property or the property to the west. Mr. Krzos confirmed the geotechnical report refers to the property in question.

Commissioner Wahl stated the report refers to the proposed parking lot location. Commissioner Gelbmann agreed, adding it does not appear that the west lot was included in the review.

Ms. Polka stated the Watershed District indicated that they reviewed and approved the entire plan.

Chair Barton stated the drawings indicate that the existing parking and garage will stay. Mr. Krzos stated it is his understanding that the garage is to be removed to accommodate six outdoor parking spaces.

Commissioner Gelbmann stated he does not feel there is enough information to confirm that the developer has done due diligence in terms of soil conditions, and whether the ground is stable.

Chair Barton opened the continued public hearing at 7:16 p.m.

Kathy Anderson, 2227 Eldridge Avenue E, stated her home is directly east of this proposed development, and the wetland is in her backyard. She added the proposed building is too tall, as there are no buildings taller than 3 or 3.5 stories in the neighborhood. She noted the area is already congested with multi-family housing and they do not need another one.

Don Bieniek, 2146 East Belmont Lane, stated he has lived in this area for over 70 years. He added there used to be a drainage ditch that ran along the east side of Ms. Anderson's house, that went to South Avenue, as well as a pond west of 5th Street N. He noted the ditch was buried when an apartment building and animal hospital was built. He expressed concern about where the water is going.

Olivia Boerschinger reviewed a letter written by William and Stacy Kostelnik, 2219 Eldridge Avenue E, that states their property is directly south of 0 Burke Avenue and they do not support land development at 0 Burke Avenue as it would damage the neighborhood's ability to handle stormwater capacity. The Kostelniks letter added they feel their privacy will be violated by the tall building with 12 windows looking into their backyard.

Chair Barton closed the continued public hearing at 7:22 p.m.

Commissioner Gelbmann stated it appears that soil borings are being done in an area that does not relate to where the building would be located. He added the drawings still show the garage, which is proposed to be removed.

Chair Barton agreed, stating the staff report indicates that the existing building will be removed, but does not make any reference to what will be put at that location.

Chair Barton stated she would like to see a snow management plan as snow gets very deep at the intersection of Burke Avenue and 5th Street N.

Chair Barton asked whether there is any concern about including two different Zoning categories within the same PUD, in this case R-3 and MU-3. She requested additional clarification on this point, as well as the study.

Commissioner Worm stated the new building will either subtract from water in the area or contribute to it.

Commissioner Gelbmann reiterated concerns regarding soil conditions and which could affect the building's stability.

Mr. Krzos stated there were some questions from the Planning Commission regarding turning movements and utility-related items.

Commissioner Gelbmann stated he would support a snow management plan to determine whether snow will be dumped into the wetland area.

Don Bieniek stated the meeting packet refers to a street number on Burke Avenue which is not a correct street number as it does not exist in North St. Paul. Mr. Krzos stated that is an identification number used by the project engineers for their own filing system.

Motion by Commissioner Stahlmann, and seconded by Commissioner Gelbmann, with all present voting aye (6-0). Motion carried to table 0 Burke Avenue Planned Unit Development until receipt of requested information.

VII. COMMISSION BUSINESS ACTION ITEMS & RECOMMENDATIONS

A. Preliminary Planned Unit Development, Site Plan and Preliminary Plat (townhomes) 2329 17th Avenue E – Concept Plan Only

Mr. Krzos reviewed a Planned Unit Development site concept plan and plat for 2329 17th Avenue E. The revised concept plan is a proposal for 12 duplex townhome units in a mix of 1 and 2 story styles. He added structures have been moved to the west half of the property and the remainder of the property is proposed to remain open space to be managed by the Homeowner's Association. He noted the internal roadway is proposed to be widened for additional parking. The applicant is seeking Planning Commission feedback on the revised concept plan.

Commissioner Stahlmann stated he likes the revised plan with entrances on Delaware, reduced traffic on the internal roadway with parking only on the north side. He asked whether the 3 units to the north will be 2-story units.

Paul Bruggeman, the developer, confirmed the 3 buildings that face 17th Avenue would be 2-story units. He stated he is seeking feedback and comments from the Planning Commission before revising the plan again, to save time and money. He added the revised plan includes accommodations for parking and emergency access, and density was significantly reduced.

Chair Barton asked whether a circular turn-around area could be included on the internal road since it would be widened. She asked whether setbacks could be reduced. She expressed concern that residents will have to back their cars out of the roadway onto Delaware Street.

Mr. Bruggeman stated there is not enough room to make a circle without eliminating two Buildings 2 and 3. He requested the Planning Commission's clarification and input so he can come back with a plan that will meet their approval.

Commissioner Worm stated he likes Mr. Bruggeman's revised plan. He added residents will not have to back out onto 17th Avenue. He added, as far as he is concerned, the developer did a good job. Commissioner Gelbmann agreed it is a big improvement. He asked about the catch basin and leaving the east portion as open space. He added there is a lot that could be done there without reducing the value of space as a retaining pond. He noted the shape could be a little different which would be more inviting to the neighbors to use the open space.

Mr. Bruggeman suggested the stormwater pond could be kidney-shaped. Mr. Gelbmann agreed that would look more like a natural pond than a square.

Commissioner Stahlmann stated City Manager Scott Duddeck had mentioned that the City might consider adding something on the far east side of the property. He asked whether the City and developer had discussed working together on that.

Mr. Gelbmann stated the holding pond could be an amenity for the area.

Mr. Gelbmann stated the elevation on the east side was not conducive to a water feature. He added the site will not visually change, in terms of where buildings are located and the number of parking spaces.

Chair Barton stated the revised plan does not show landscaping or outdoor amenities, like a gazebo, which was discussed when the Planning Commission previously reviewed this issue. Mr. Bruggeman stated the landscaping is not proposed to change from what was presented previously. He added the intent is to leave it as open space with some tree planting.

Commissioner Stahlmann stated he is completely supportive of the site plan.

Commissioner Wahl asked whether the parking areas will be marked. Mr. Bruggeman confirmed this, adding there will be parking spaces marked along one side of the internal roadway.

Chair Barton stated a PUD request is usually characterized by superior development and design that includes a common interest usable open space.

Commissioner Stahlmann stated the property will be owned by the Homeowner's Association. Mr. Bruggeman confirmed this, adding the plan is to have an open grassy space with some trees that will be a usable, functional area for children to play.

Mr. Bruggeman thanked the Planning Commission for their input.

B. 2040 Comprehensive Plan Adoption

Mr. Krzos reviewed proposed adoption of the 2040 Comprehensive Plan, which was submitted to the Metropolitan Council in August 2019 and found to be consistent with Land Planning Act requirements, and in conformance with regional system plans, including the Thrive 2040 Regional Plan. He added the Metropolitan Council adopted the proposed revision to the City's population and household forecasts as well as revised affordable housing allocation. He noted City Staff recommends that the Planning Commission recommend formal City Council adoption of the 2040 Comprehensive Plan and Comprehensive Sewer Plan.

Motion by Commissioner Hamm, and seconded by Commissioner Gelbmann, with all present voting aye (6-0). Motion carried to recommend City Council adoption of the 2040 Comprehensive Plan and Comprehensive Sewer Plan.

VIII. REPORTS FROM STAFF

City Manager Scott Duddeck stated cable cast equipment in the Council Chambers and conference room have been updated with improved picture and audio, listening devices, wireless microphones and presentation software. He added the renovations will be complete by the City Council's November 19, 2019 meeting. He noted the conference room has a large display and can be used for overflow crowds when Council Chambers is filled to capacity.

Mr. Duddeck stated, with regard to the Delaware Avenue project, City Staff agrees that an open space will be the most appropriate use of property on the east side of the development.

Commissioner Barton asked whether reducing the number of units would have an effect on the size requirement for the retention pond. Mr. Duddeck stated the initial proposal has not changed.

Mr. Duddeck stated the development of Anchor North site, including M&I Townhomes, has been given the name "Uptown Commons", which is a reference to a time when residents called this area "Uptown". He added the plat will be called "Village Hall" to reflect some of the area's local history.

Mr. Duddeck stated grading and pad work is under way and should be completed within 2 weeks. He added there were concerns about the high water table, but that is no longer an issue. He noted M&I have sold 8 townhomes, with some residents moving in at the end of November.

Mr. Duddeck stated the final plat for Phase 2 will be ready to be reviewed by the Planning Commission and City Council before the end of 2019, with construction to begin in Spring 2020.

Commissioner Stahlmann requested clarification on Anchor Block north side development timeline. Mr. Duddeck stated three end users are ready to go and are committed to the development. He added City Staff are continuing to talk to them regularly and purchase agreements are being discussed.

Commissioner Stahlmann stated he attended an open house for the newly built townhomes, and it was very impressive. Mr. Duddeck stated a ribbon cutting will be planned in Spring 2020, and City Staff are looking at advertising and promotion of all the City's development projects, to publicly showcase and promote North St. Paul. He added M&I Homes would like to be involved in that and are preparing for Spring Parade of Homes in early March 2020.

Commissioner Stahlmann asked for an update on the memory care unit. Mr. Duddeck stated there have been difficulties with their contractor, but City Staff continues to work with them. He added there have been many inquiries about the memory care unit.

Commissioner Hamm thanked City Staff for doing an amazing job promoting development in North St. Paul. Mr. Duddeck stated it is hoped that this high level of development will spur other activity.

IX. REPORTS FROM COMMISSIONERS

Commissioner Wahl stated his term on the Planning Commission will expire at the end of 2019. He added he has been on the Planning Commission for 10 years. He noted City Staff are amazing to work with, and they present rules and regulations in an understandable way. Chair Barton stated Commissioner Wahl will be missed.

Commissioner Gelbmann stated the wine tasting drew a crowd of 24-30 people despite the bad weather.

Chair Barton stated she received an email at her City email account with information regarding an online training session. She added she confirmed with Mary that it was a legitimate contact. She suggested the other Planning Commissions should check their City email account.

Ms. Boerschinger agreed to forward information on how to access the online training program.

Mr. Duddeck stated that is an online course related to internet security. He added City Staff can help if Commissioners do not have internet access or need assistance.

X. ADJOURNMENT

There being no further business, motion to adjourn by Commissioner Wahl, and seconded by Commissioner Gelbmann, with all present voting aye (6-0). Motion carried to adjourn the meeting at 8:15 p.m.

The next regularly scheduled Planning Commission Meeting is Thursday, December 5, 2019 at 6:15 p.m.

Members, please notify any planned absences to:

Olivia Boerschinger
Planning Commission Secretary
651-747-2400
Olivia.boerschinger@northstpaul.org

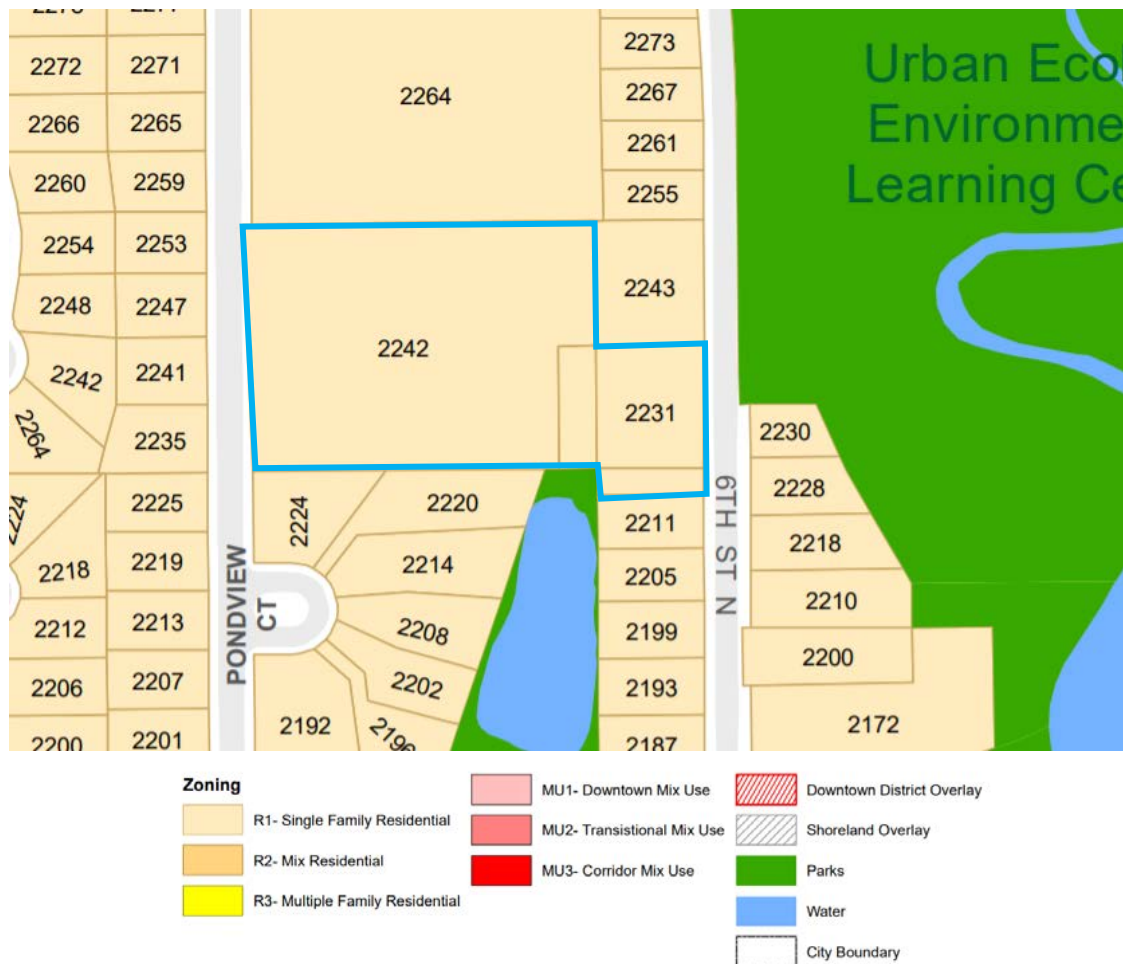
MEMORANDUM

Date: 11/27/2019
To: Planning Commissioners
From: Erin Perdu, AICP, City Planner
Ryan Krzos, AICP, Planning Consultant
CC: Scott Duddeck, City Manager
Debra Gustafson, Administrative and Community Services Director
Re: Rezoning from R-1 to R-2, Preliminary Plat, and Preliminary Planned Unit Development Review for 2242 7th Street N and 2231 6th Street N

BACKGROUND

Doug Andrus of Andrus Built LLC, on behalf of the property owner, K&T North St. Paul Investment LLC, has submitted requests to develop the subject property with 20 townhome units and three single family dwellings. The proposed townhomes buildings would consist of two (2) four-unit buildings and six (6) two-unit buildings. The 4.23-acre subject site is currently comprised of four parcels, two of which contain existing single-family dwellings which would be demolished. The site is zoned R-1 Single-Family Residential which the applicant requests be rezoned to the R-2 Mixed Residential District which allows townhome dwellings as a permitted use. The requested subdivision plat would divide the four existing parcels into three lots for single family dwellings along 6th Street N, and 20 lots for townhomes with an outlet within the balance of the site. The proposed outlet would contain a private drive providing access to each of the townhome units. The plat would also dedicate small portions of right-of-way for 7th Street N and 6th Street N to complete the full 60-foot width for these roadways. Lastly, the Planned Unit Development approval is requested to provide flexibility from the dimensional standards of the Zoning Ordinance allowing redevelopment of the site for medium density residential land uses as envisioned by the Comprehensive Plan.





GENERAL STAFF REVIEW

Consistency with the City Plans

- 154.004 (D)(2) Rezoning Standards (b) *The proposed amendment is consistent with the general purposes and intent of the Comprehensive Plan.*
- 154.004 (D)(2) Rezoning Standards (f) *If applicable, the proposed amendment is consistent with officially adopted city plans and overlays.*
- 154.008 (C)(4) PUD General Standards (a) *Consistency with Comprehensive Plan. The proposed PUD shall be consistent with the Comprehensive Plan.*

The majority of the site is guided for Medium Density Residential uses by the 2040 Comprehensive Plan. The area containing the proposed single-family lots is guided for low density residential land uses. The Medium Density Residential land use category envisions uses at densities from 6 to 12 units per acre. The proposed development density enabled by the rezoning and planned unit development is 6.5 units per acre, meeting the comprehensive plan guidance. The Comprehensive Plan also encourages diverse housing options particularly the development of “missing middle” styles of housing such as this.

There are no overlays guiding the subject site.

Health, Safety, and General Welfare

- *154.004 (D)(2) Rezoning Standards (b) The proposed amendment will not adversely affect the health, safety, or general welfare of the city;*

The subject requests would enable the development of medium density residential land uses. Surrounding land uses are low density residential and open space uses. Adverse impacts on health, safety, or the general welfare of the City are not likely from the proposed rezoning or the resulting development.

Compatibility with Surrounding Context

- *154.004(D)(2) Rezoning Standards (c) The proposed amendment is compatible with present and future land uses in the surrounding area and reasonably related to the overall needs of the city;*
- *154.004(D)(2) Rezoning Standards (d) The proposed amendment is compatible with adjacent properties;*
- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (D). The arrangement of buildings, structures, and accessory uses does not unreasonably disturb the privacy or property values of the surrounding residential uses.*
- *154.008 (C)(4) PUD General Standards (f) Relationship of PUD site to adjacent areas. The design of a PUD shall take into account the relationship of the site to the surrounding areas. The perimeter of the PUD shall be so designed as to minimize undesirable impact of the PUD on adjacent properties and, conversely, to minimize undesirable impact of adjacent land use and development characteristics on the PUD.*
- *154.010(E)(3) General Architectural requirements (g) Protection of views. Buildings shall be designed and oriented so as not to detract from one another or to unduly restrict views to open spaces, plazas and vistas.*

The immediately surrounding properties contain single-family dwellings on lots primarily in the quarter- to half-acre range, with a roughly three-and-a-half-acre single family lot directly north. The Urban Ecology Environmental Learning center is directly east of the site across 6th Street N. The proposed development would maintain residential use of the site, albeit at a medium density level. The proposed townhomes would be oriented towards an internal private roadway which provides access to each of the units. Rear yards meeting the minimum setback are would lie between the townhomes and the adjoining properties to the north and south respectively. The residential properties to the south contain residences with their rear facades facing north, opposite the rear of the southerly row of proposed townhomes. The lot to the north of the subject site is also guided for medium density residential land uses by the Comprehensive Plan. Staff finds that the proposed development represents a reasonable approach to provide medium density land use within the subject site and is proposed in a manner that it compatible within the existing neighborhood context.

Proposed Uses

- *154.006(C)(1) Permitted, Conditional, and Interim Uses refers to Table 3 for allowed uses within the residential districts.*

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (H) Proposed unit and accessory use requirements are in compliance with the district provisions in which the development is planned.
- 154.008 (C)(4) PUD General Standards (c) Permitted uses. All permitted, conditional, and interim uses contained in the underlying zoning district shall be treated as permitted, conditional, and interim uses in the PUD Overlay District.

The proposed development includes single family and townhome dwellings. Both uses are permitted in the requested R-2 Zoning District. Planned unit developments are also permitted in the R-2 district.

Proposed Lot/Building Dimensional and Setback Requirements

- 154.006(C)(3) refers to Table 4 for the lot requirements within the residential districts.
- 154.008 (C)(4) PUD General Standards (l) Building height. Height limitations shall be the same as imposed in the respective zoning districts.
- 154.008 (C)(4) PUD General Standards (d) Density. Increased density shall be permitted to encourage the preservation of natural topography and geological features. The city may, but shall not be required to, provide concessions in setbacks, density, or lot size to protect waterways or water bodies, steep slopes or other areas which would normally not be developable. The city will consider allowing an increase in the allowable density upon proof by the applicant that some of the following features are being provided as part of the proposed development:
 - i. Preservation of natural site features, wetlands, lowlands, wooded areas, and the like, protected by the Minnesota Department of Natural Resources, by the city and/or Ramsey County ordinances.
 - ii. Creation of conservation easements due to steep slopes, wooded areas and/or environmentally sensitive areas, as identified in the Comprehensive Plan.
 - iii. Creation of park/public areas for active and passive park uses beyond required standards or other public purposes such as schools, public buildings, greenways, and the like which meet the intent of the Park and Recreation goals of the Comprehensive Plan and are consistent with the public dedication requirements for the proposed development.
 - iv. Installation of public improvements designed to serve areas beyond the project boundary.
 - v. The city may consider increased density for housing projects which provide affordable housing options, consistent with the Comprehensive Plan.
- 154.008 (C)(4) PUD General Standards (e) Minimum lot size. The minimum lot size requirements of other sections of this chapter do not apply to a PUD except that the minimum lot size requirements of the underlying zone shall serve as a guideline to determine the maximum dwelling unit density of a total development. The maximum dwelling unit density shall be determined by the area remaining after appropriate space for street right-of-ways and any other public dedications have been determined and subtracted from the total PUD area. If the property involved in the PUD includes land in more than one zoning district, the number of dwelling units or the square footage of commercial, residential or industrial uses in the PUD shall be proportional to the

amount that would be allowed separately on the parcels located in each of the underlying zoning districts.

A summary of the information included in Table 4 is provided below. (items marked in red are areas where the lot(s) does not meet zoning standards and therefor require deviations allowable in a PUD):

Requirement	R-1 (Existing Zoning Designation)	R-2 (Requested Zoning Designation)	Proposed SF Lots along 6 th St	Proposed Townhome Lots
Minimum Lot Area	7,920 sf per dwelling unit	5,967 sf per dwelling unit	9,241 – 9,922 sf per dwelling unit	4,536 – 7,765 sf per dwelling unit
Minimum Lot Width	60 ft	80 ft	65 – 69.91 ft	36 – 52.79 ft
Front Yard Setback	25 ft	25 ft	Building pad locations were not identified on the plans for these lots.	25 ft
Rear Yard Setback	25 ft	25 ft		25 ft
Side Yard Setback	6 ft internal, 15 ft corner	6 ft internal, 15 ft corner		5 – 7.5 interior 15 ft corner
Maximum Height	Two (2) stories or 35 ft. in height	Two (2) stories or 35 ft. in height		The submitted building renderings show One story townhome units.
Limit of Surfacing in Front Yard	40%	40%		50.6% - 61.1%
Minimum Livable Space	900 sf 1 story, 1,200 sf 2 stories	900 sf 1 story, 1,200 sf 2 stories		2,772 sf building pad (incl garage space)
Lot Coverage	40%	50%		42.8% - 73.2% (12 of 20 are above 50%)
Density	Low (3 – 5.5 units/ac)	Medium (5.6 – 7.3 units/ac)	6.5 units per acre	

The proposed density would comply with the range of densities allowed in the R-2 District. Accordingly, an allowance for increased density is not requested with this project. The proposed townhome and single-family lots would be substandard with regard to width and most proposed townhome lots are substandard in lot area. These reductions are requested in order to achieve the medium level of density prescribed in the R-2 district and the Comprehensive Plan's future land use guidance for this site. The Planned Unit Development process allows for reduction in dimensional requirements of the Ordinance to meet certain objectives. In this case, the it allows for a development that:

- Promotes more efficient land use and density consistent with the Comprehensive Plan.
- Facilitates the economical provision of streets – a private drive is proposed.
- Allows for a mixture of residential units, consistent with the city's housing goals.

With the exception of two lots (lots 10, in blocks 1 and 2) the required 25-foot front yard setback, the 7.5-foot interior side setback, and the 15-foot corner side setbacks are provided. In the two deficient lots, the proposed vehicular turnaround is within 25 feet of the front of the building pad, and 5 feet to the side where 7.5 feet is required. These reductions were made to allow for the “T” shaped turnaround to be provided. All of the identified building pad locations would comply with required rear yard setback.

The proposed townhome lots would exceed the limit on front yard surfacing, and most lots would exceed the total lot coverage requirements (block 1, lots 1, and 4-10 would comply). This is due in large part to the wide driveways that lead to each of the units. Said driveways provide additional parking capacity for guests of residents, as guest parking stalls within the private drive are not provided. Again, this reduction is requested to provide the medium density residential land use as guided by the Comprehensive Plan.

Ownership

- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria (A). Adequate property control is provided to protect the individual owner's rights and property values and the public responsibility for maintenance and upkeep.*
- *154.008 (C)(4) PUD General Standards (a) Ownership. An application for PUD approval must be filed by the landowner or jointly by all landowners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approval of the final plat shall be binding on all owners. In absence of an ownership application, the project developer may submit with the development application the written consent of all property owners within the proposed PUD. The financial commitments incurred through any portion of the development shall be the responsibility of the owner.*

The property owner is listed as the owner or submitted recently executed deed transfers for each of the four subject parcels. The application materials state that a townhome association will be responsible for maintenance of the private roadway and lawn care for the site. Staff recommends that a copy of the executed associated documents be submitted to the City as a condition of approval.

Utilities and Municipal Services

- *154.004(D)(2) Rezoning Standards (e) The proposed amendment can be adequately supported by public urban services including the water supply, transportation system and capacity, police and fire protection, utilities, and sanitary waste disposal and stormwater disposal systems.*
- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria (F). The drainage and utility system plans are submitted to the City Engineer and shall be subject to approval of the City Engineer.*

- *154.008 (C)(4) PUD General Standards (k) Public services. The proposed project shall be served by the city water and sewer system and fire hydrants shall be installed at such locations as required by the City Engineer or the Fire Chief to provide fire protection.*
- *154.008 (C)(4) PUD General Standards (g) Utility requirements. Utilities, including telephone and electrical systems, installed within a PUD shall be placed underground. Utility appurtenances which can be effectively screened may be exempt from this requirement if the city finds that such exemption will be consistent with the objective of this section and the character of the proposed PUD.*
- *154.010(A) Development Standards (9) Utility installations. All on site utility installations shall be placed underground.*

Utility Plans were included in the applicant's submittal. Water and sewer mains providing service for the proposed townhomes would extend from existing mains within the 7th Street right-of-way. The City Engineer reviewed the utility plans and requested a number of revisions outlined in the "Engineering Comments" section.

Water, sewer, and storm sewer facilities are shown on the utility plan as located underground. Telephone and electrical systems were not identified on the utility plan. Any utilities not shown on the plan would have to be screened or located underground and would have to be shown on a revised utility plan and submitted for review prior to construction or shown on final PUD plans.

Open Space

- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (C) A sufficient amount of usable open space is provided.*
- *154.008 (C)(4) PUD General Standards (n) Open space. Common open space shall be either held in common ownership by all owners in the PUD or dedicated for public use with approval of the City Council. Whenever possible, common open space shall be linked to the open space areas of adjoining developments. Common open space shall be of such size, shape, character, and locations as to be useable for its proposed purpose.*
- *154.010(B)(1)(d) Residential Open Space. Townhouse. Each lot shall contain at least 500 square feet of usable open space for each unit.*

Each of the proposed townhome lots would have a yard area that would qualify as usable open space; each of these areas would exceed the minimum 500 square feet. The plan does not propose any common open space aside from the area within the outlot containing the private road.

Drainage/Natural Resources

- *154.010(D)(45) Townhouse dwelling Supplemental Standards. (b) Drainage. Drainage shall be provided as required consistent with the city and Watershed District requirements. Any required NURP ponds shall be integrated into the overall plan and proper easement and maintenance agreements shall be provided.*
- *154.010(F) Landscaping Standards (9) Drainage, access & utility easements. No landscape material other than grass, or retaining walls, shall be placed within a drainage, access or utility easement. Rock or riprap may be allowed upon review and*

approval by the Zoning Administrator provided the proposed material does not interfere with drainage, access or utilities.

The proposed development includes on-site drainage features including a detention facility located within the area to the south of the proposed townhome units. The submitted materials include a drainage report which was reviewed by the City Engineer. A number of request revisions or items of additional information from the applicant related to stormwater are included in the “Engineering Comments” section.

The proposed landscaping plan does show a number of tree plantings within the proposed drainage and utility easement encompassing the stormwater detention facility. In accordance with the above noted standard, these plantings will need to be relocated on a revised landscaping plan,

Landscaping

- *154.008 (C)(4) PUD General Standards (j) Landscaping. In any PUD, the developer shall prepare and submit a landscaping plan as a part of the Final Plan, which shall include a detailed planting list with sizes and species indicated to be approved by the City Council. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structures and the overall scheme of the PUD plan.*
- *154.010(F)(3) Tree requirements. (a) Number of trees. Trees must be planted within the property lines and in a location as not to interfere with sight line visibility at maturity. The minimum number of trees of any given site shall be as follows: (i.) Single- and two-family uses. A minimum of one tree per parcel.*
- *154.010(F)(3) Tree requirements. (a) Number of trees. (ii.) Townhouse and multiple family uses. Residential structures containing two or more units shall contain as a minimum: one tree per dwelling unit.*
- *154.010(F)(4) Landscape coverage. All residential district properties are encouraged to have diversified landscaping in addition to the landscaping required in setback areas for free-standing, detached structures. All landscaped areas are encouraged to be developed with live deciduous and coniferous plants, grass, trees, and shrubs which provide a variety of color, texture, height, and forms consistent with the needs of the site and other elements of the plan. The landscaped areas may contain, but not limited to, some decorative stones, wood, patio blocks, sculptures, and other appropriate ornamental features. Overall composition and location of landscaped areas shall complement the scale of the development and its surroundings. In general, larger, well-placed contiguous planting areas shall be preferred to smaller, disconnected areas. The following zoning classifications will have the following percentage of the lot landscaped: (b) R-2 District. All areas, except for buildings, driveways and approved parking areas, shall be landscaped as described above. Landscaping may include retaining the natural landscape where appropriate. At least 50% of the front yard must be landscaped.*
- *154.010(F)(5) Required yards and setbacks. (a) All developed uses shall consist of, but not limited to, a landscaped yard, including grass, plantings, decorative stones, trees and shrubs, along all streets.*

(b) Except for driveways, the yard shall extend along the entire frontage of the lot, and along both streets in the case of a corner lot, such yard shall have a depth of at least ten feet.

(c) Required yards and setback areas, except driveways and areas used for accessory structures, shall be graded to final elevations and sodded or seeded and landscaped with grass, plantings, decorative stones, trees and shrubs.

A landscaping plan was included in the application submittal. The proposed 20 units of townhomes and three single family dwellings requires 23 trees. The proposed landscaping plan shows 23 trees of three species: River Birch, Hackberry, and Sienna Glen Maple. Eleven of the proposed trees are located on either side of the proposed roadway serving the townhomes, and three along the west side of 6th Street N in front of the three single-family home sites. The proposed River Birch Plantings are located on the south side of the stormwater detention facility. As previously noted, plantings are not permitted within drainage and utility easements, therefore said plantings must be relocated on a revised landscaping plan.

The areas of the site aside from roadways, driveways, and buildings are shown as residential turf grass. As noted above the front yard areas would not comply with the hard-surfacing requirements. A reduction in this requirement could be provided through the PUD process, since this would allow for groupings of wider driveways to accommodate guest parking.

Screening

- 154.010 (A) Development Standards (12) Storage of trash. (a) Residential uses. There shall be no front yard storage of trash or trash containers except in the 24 hour period prior to a scheduled pickup in residential districts.*
- 154.010(D)(45) Townhouse dwelling Supplemental Standards. (c) Projecting air conditioning and heating units. Air conditioning or heating units shall not project through exterior walls or windows unless located behind a balcony and screened from view.*
- 154.010(D)(45) Townhouse dwelling Supplemental Standards. (d) Transformers. If located outside, shall be screened from view.*
- 154.010(D)(27) Townhouse dwelling Supplemental Standards. (e) Utilities. Building utility services and structures such as meters, transformers, refuse containers, including dumpsters, ancillary equipment and the like shall be either located inside the principal building, inside an accessory building, or, where allowed, be outside and entirely screened from off-site views. For new buildings, all utilities shall be underground.*
- 154.010(E)(3) General Architectural requirements. (b) Utilities. Building utility services and structures such as meters, transformers, refuse containers, including dumpsters, ancillary equipment and the like shall be either located inside the principal building, inside an accessory building, or, where outside be entirely screened from off-site views. For new buildings, all utilities shall be underground.*

If meters, transformers, refuse containers are to be placed outside, they must be screened from view and shown on revised plans submitted with the final PUD. If projecting air conditioning and/or heating units are to be used, they must be shown on the building elevations submitted with the final PUD.

Lighting

- *154.010(A) Development Standards (7) Outdoor lighting. All outdoor lighting shall be directed away from adjoining property and from the street unless globe lighting is used. Bare incandescent light bulbs shall not be permitted in view of adjacent property or the public right-of-way, except decorative holiday lights having 7.5 watts or less. No exterior lighting shall exceed 0.4 foot candles at the lot line. Yard lights shall not be closer than five feet from the property line, provided the direct source of light is not visible from the public right-of-way or adjacent residential property.*

No exterior lighting is shown on the plans. If exterior lighting is proposed, a lighting plan needs to be submitted with the final PUD.

Streets and Sidewalks

- *154.008 (C)(4) PUD General Standards (i) Street width. Requirements outlined in the subdivision ordinance for street widths may be relaxed depending on the number of off-street parking locations and the anticipated density in the planned unit development. The Planning Commission, City Engineer and city's Emergency Services (Fire, Ambulance and Police) shall review each planned unit development to determine street width requirements.*
- *154.010(A) Development Standards (22) Sidewalks and trails. Complete plans shall be provided for proposed sidewalks and trails to serve parking, recreation and service areas within developments and to link to the city's system.*
- *154.010(E)(3) General Architectural requirements (e) Pedestrian ways. Buildings shall be designed with proper provision and orientation for a pedestrian system to serve and link development.*

The proposed private street is shown as being 26 feet in width. A “T” shaped turnaround would be provided at the eastern termini of the townhome lots.

No proposed sidewalks are included in the plans, however this area of the City does not have sidewalks with which to connect.

Parking

- *154.008 (C)(4) PUD General Standards (h) Parking. Off-street parking and loading space shall be provided in each PUD in the same ratios for types of buildings and uses as required in the underlying zoning district.*
- *154.010(J)(3) General Parking Standards. (a) Minimum size regulations. Each space shall contain a minimum area of not less than 180 square feet, exclusive of access drives, a width of not less than nine feet and a depth of not less than 20 feet. Each space shall be adequately served by access drives as determined by the Zoning Administrator. All loading spaces shall be sufficient to meet the requirements of each use and shall provide adequate space for storage and maneuvering of the vehicles they are designed to serve. Parking ramps and underground parking may be allowed to have some reduction in the dimensions stated above.*

- 154.010(J)(9) Off-street parking standards for residential districts. (c) Setbacks. New driveways and off-street parking shall be set back a minimum of three feet from side property lines.
- 154.010(J)(9) Off-street parking standards for residential districts. (e) Driveways, authorized parking areas, and authorized garages.
 - i. Driveways must lead to and abut a vehicle access door having a width of at least eight feet. Driveways must not exceed a 22 foot maximum width at the property line.
 - iv. Required number of off-street parking spaces. The minimum number of off-street parking spaces are located in Table 8.

A Summary of the requirements in Table 8 is provided below for single-family and townhome uses.

Use	Requirement	Proposed
Townhouse Dwelling Residential- Family Living	2 per dwelling unit.	20 units with two car garages: 40 stalls
Single Family Dwelling Residential- Family Living	2 per dwelling unit.	3 dwellings with two car garages: 6 stalls

Each of the townhome units would have a driveway leading to an attached two-car garage. The submitted architectural renderings show the garage access doors as being greater than 8-feet in length. Driveways would be shared between adjoining units; as such they would conflict with the 3-foot side setback. Through the PUD form of approval, this setback requirement may be reduced which is common for townhouse-style developments. In this case, the pairing of driveways creates a greater concentration of green area in the front yard.

Access and Circulation

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (B) The interior circulation plan plus access from and onto public rights-of-way does not create congestion or dangers and is adequate for the safety of the project resident and the general public.
- 154.010(D)(45) Townhouse dwelling Supplemental Standards. (a) Access. Each townhouse unit shall have direct vehicle access from the garage and driveway to a public road or to an improved private road meeting the requirements of the city.
- 154.010(D)(45) Townhouse dwelling Supplemental Standards. (f) Public roads. Each townhouse development shall have direct vehicle access to a public road.
- 154.010(F) Landscaping requirements (8) Traffic visibility. In order to provide a clear view of intersecting streets to motorists, a triangular area of clear vision formed by the two intersecting streets and driveways and a line connecting said centerlines, shall be kept clear of visual obstruction, as specified below.
 - (a) Within any vision clearance triangle, screening, plantings, walls, fences or other obstructions are not permitted between a height of 30 inches and ten feet above the curb level, with the exception of fences with a maximum of three feet in height and at least two-thirds open to vision.

(c) At the intersection of a private drive or alley with a street, the line shall extend a minimum of ten feet from the intersection of the street and alley or drive property lines.

According to the Institute of Transportation Engineers' (ITE) Trip Generation Manual townhomes are associated with a daily trip rate of 5.86 trips per unit – which would equate to 117 trips for the townhome portion of the proposed development. This traffic would originate from the private drive, which feeds into 7th Street N. This volume of traffic is not anticipated to create any congestion or dangers.

Each of the proposed townhome units would have a driveway off of the private road that appears to be 22 feet in width leading to an attached garage. Lastly, the vision triangle at the intersection of the private drive and 7th Street N is clear of landscaping.

Architecture

- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (D) The architectural design of the project is visually compatible with the surrounding area. Architectural style or type of buildings shall not solely be a basis for denial or approval of the preliminary PUD plan. However, the overall appearance and compatibility of individual buildings to other site elements of surrounding development will be given primary consideration in the review stages of the Planning Commission and City Council.*
- *154.010(E)(3) General Architectural requirements (f) Pedestrian-oriented design. Building designs are encouraged to make the street enjoyable, visually interesting and comfortable. Individual buildings should be integrated with the streetscape to bring activity in the building in direct contact with the people on the street.*
- *154.010(E)(4) Architectural control. (a) Single-family dwelling. i. Shall be designed to consist of exterior materials compatible with residential development in the area with due regard to architectural quality and the massing of structures.*
- *154.010(E)(4) Architectural control. (b) Two-family dwelling, townhouse dwelling and modular housing:*
 - i. Shall be designed to consist of exterior materials compatible with residential development in the area with due regard to architectural quality and the massing of structures.*
 - ii. Number of units. There shall be no more than five townhouse units attached in any one group or building. For unique designs involving special circumstances, a greater number may be allowed, provided views, windows (in at least three directions for each unit), privacy and line of sight are preserved in the design.*
 - iii. Modulation, length. The building and units shall be modulated to provide interest.*
 - iv. Diversity. Townhouse groupings shall provide diversity in terms of size, type and building orientation and form.*
 - v. Equipment. All building equipment shall be hidden from view. Building vents and chimneys shall consist of similar materials to the building roof and the sides of the building.*

For a preliminary Planned Unit Development, a full architectural submittal is not required by the Ordinance. Additional architectural submittals are required for final PUD review. The applicant

did however provide an architectural rendering indicative of the two-unit and four-unit buildings. The rendering shows a one-story pitched roof structure, with multiple styles of siding, with stone accents. The character of the proposed townhome structure is traditional in appearance and consistent with residences in the vicinity.

As previously noted, the townhomes are in a combination of two- and four-unit groupings, but would all be similar in terms of size, building orientation and form, and are not varied in terms of building and unit modulation. The applicant will need to work with staff to address these architectural guidelines while preparing final PUD plans, however, staff finds that for the purposed of preliminary PUD review, the architecture is compatible with surrounding development.

Development Process and Timeframe/Phasing

- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (G) The development schedule insures a logical development of the site which will protect the public interest and conserve land.*
- *154.008 (C)(4) PUD General Standards (m) Development agreement. Prior to the issuance of a building permit as part of the PUD, the permit applicant, builder, or developer shall execute and deliver to the City Council a development agreement for the PUD.*

The developer states that the project would move forward as a single phase. A development agreement would need to be submitted with the final PUD.

Engineering Comments:

Sheet C01:

1. An additional easement is required for the sanitary sewer on Parcel C (Block 3, Lot 2)
2. Show the proposed building pads for Parcels A, B, and C (Block 3, Lots 1, 2 and 3)

Sheet C10:

1. Pavement removal and replacement for pipe installations on 7th Street and 6th street shall be full width of street.
2. Show manhole removal east of 7th Street (SMH 105).
3. Provide details of water and sanitary service removals.

Sheet C20:

1. Excessively steep grades between lots. Consider holding down the grade or the use of retaining walls to direct drainage away from buildings.
2. Lot Block 1, Lots 9 and 10 – rear grade for lookout lot is 949.3.
3. Block 2, Lots 4 through 6 – steep grades are shown coming off the back of the units.
4. Revise proposed contours to match proposed rear grade on Block 2, Lots 9 and 10.
5. Show the following:
 - a. Rim/inlet elevations
 - b. Storm sewer line work
 - c. Driveway grades

- d. High points between units
- e. EOF of hammerhead
- f. EOF's of rear catch basins

Sheet C30:

1. Consider shifting low point (and catch basins) to approximately STA. 4+40 to prevent water from over-topping the end of the hammerhead in larger rain events and to provide cars a better stopping condition as they approach the end of the hammerhead.
2. Should "sump" structure be chosen adjacent to paved area for maintenance. All storm sewer outside of the public right of way shall be privately maintained.

Sheet C40:

1. Note 1.2/C07 should read 8" gate valve (not 6").
2. Verify size and material of existing watermain in 7th Street.
3. Street patches are to be full width.
4. All watermain is to be PVC C900, with the exception of hydrant leads which are CL 52 DIP.
5. Is a water service proposed for Parcel A?
6. Is the cleanout shown in 6th Street in front of Parcel A existing or proposed?
7. Include a watertight boot or equivalent at the sanitary sewer manhole connection.
8. The sanitary service at 6th Street must have a 10' separation from the watermain.
9. Specify water service materials in the notes.
10. Maintain separation/insulate for water services crossing the road.
11. See comment 1 and 2 for Sheet C01.
12. Show stationing in the profile view.

Sheet C70:

1. Use North St. Paul details where applicable.

Stormwater:

1. It appears that freeboard requirement of 2-feet between the HWL elevation of the pond and the existing home (2220 Pondview Ct) immediately south of the pond is not met. The Alta survey indicates the elevation at the edge of the home is 946.49 (assumed low opening), the HWL of the pond is 946.
2. Freeboard requirement is not met for structure 9/10 in Block 2. New home LL must be 2 feet above HWL of the pond.
3. Identify the EOF for the rear yard catch basin located in the northeast corner of the site. EOF must be 1-foot below the low opening of the adjacent building.
4. Identify the EOF for the eastern portion of the street
5. RCP pipe is required under roadways.
6. Inlet and outlet to the pond are in very close proximity to each other, creating a short-circuiting effect. Consider adjusting these pipes.
7. The outlet control structure detail shows the pond bottom at 941.5 while the grading plan indicates 942 please clarify.

8. Provide soils borings so groundwater elevation and soil types can be verified in the infiltration basin area.
9. Provide pond stage storage tables for the infiltration pond so that infiltration volumes can be verified.
10. Provide storm sewer calculations.
11. NPDES and RWMWD permits are required. Provide these permits to the City.

RECOMMENDED ACTION

Based on the findings described in this report, staff recommends the following actions:

Approval of the requested rezoning from R-1 Single Family Residential District to R-2 Mixed Residential District.

Conditional Approval of the proposed Preliminary subdivision plat subject to the following conditions of approval:

- a. Payment of park dedication fees.
- b. An additional easement is required for the sanitary sewer on Parcel C (Block 3, Lot 2)
- c. The proposed building pads for Parcels A, B, and C (Block 3, Lots 1, 2 and 3) shall be shown on a
- d. Permanent drainage and utility easements shall be included in the final plat as required by the City Engineer.
- e. Positive Action by the City Council on the Rezoning of the property from R-1 to R-2 and the Planned Unit Development.

Conditional Approval of the proposed Preliminary Residential Planned Unit Development (PUD) subject to the following conditions of approval:

- a. A Developer's Agreement must be developed with the City Attorney and submitted with the final PUD
- b. A copy of the executed townhome association documents shall be submitted to the City.
- c. Revisions to the preliminary plat, utility, drainage, and stormwater plans per the City Engineer's comments.
- d. If exterior lighting is proposed, a lighting plan demonstrating compliance with the applicable standards must be submitted with the final PUD.
- e. Relocation of the plantings within the utility and drainage easement.
- f. If meters, transformers, refuse containers are to be located outside, they must be screened from view and shown on revised plans submitted with the final PUD.
- g. If projecting air conditioning and/or heating units are to be used, they must be shown on the building elevations submitted with the final PUD.
- h. Any utilities not shown on the plan would have to be screened or located underground and would have to be shown on a revised utility plan with the final PUD.
- i. Architectural details added to the final PUD to demonstrate conformance with architectural standards.

**CITY OF NORTH ST. PAUL
NOTICE OF PUBLIC HEARING
REZONING, MAJOR SUBDIVISION, PLANNED UNIT
DEVELOPMENT**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of North St. Paul, Minnesota will hold a public hearing to accept public input on applications for Rezoning, Major Subdivision, and Planned Unit Development at the properties listed below:

Parcel Identification Numbers: 112922430109, 112922430008, 112922430023, 112922430022

Property Address: 2242 7th Street North

Legal Description: Lot Outlot B of SAUERS POND, OUTLOT B; Lot 24 of CASTLE WOOD, E 50 FT OF S 1/2 OF W 3/4 OF LOT 24; Lot 24 of CASTLE WOOD, SUBJ TO ST, S 1/2 OF E 1/4 OF LOT 24; Lot 24 of CASTLE WOOD, EX E 50 FT OF S 1/2; THE W 3/4 OF LOT 24

Applicant/Address: Doug Andrus/Andrus Built LLC; 2440 Charles St. N. Suite 210 North St. Paul, MN 55109

The applications request rezoning the lots from R-1: Single Family Residential, to R:2 Mixed Residential, and for the development of new town homes and single family homes. A PUD is requested to accommodate the proposed lot sizes for development.

The public hearing will be conducted on Thursday, December 5th, 2019 at approximately 6:15 p.m. or shortly thereafter at the City Council Chambers of City Hall, located at 2400 Margaret Street, North St. Paul.

Such persons with desire to be heard with reference to this matter will be heard at this meeting. Written comments for inclusion in the Planning Commission packet shall be delivered no later than November 26th. Written comments may be submitted until 6:00 pm on December 5th, the day of the public hearing, and shall be provided to the Planning Commission at the meeting. Please direct questions or written comment to the Planning Commission Secretary: planner@northstpaul.org or (651) 747-2595.

PUBLISH: November 24th, 2019



November 25th, 2019

SUBJECT: NOTICE OF APPLICATION FOR REZONING, MAJOR SUBDIVISION, AND PLANNED UNIT DEVELOPMENT AT 2242 7TH ST. N.

Dear Resident,

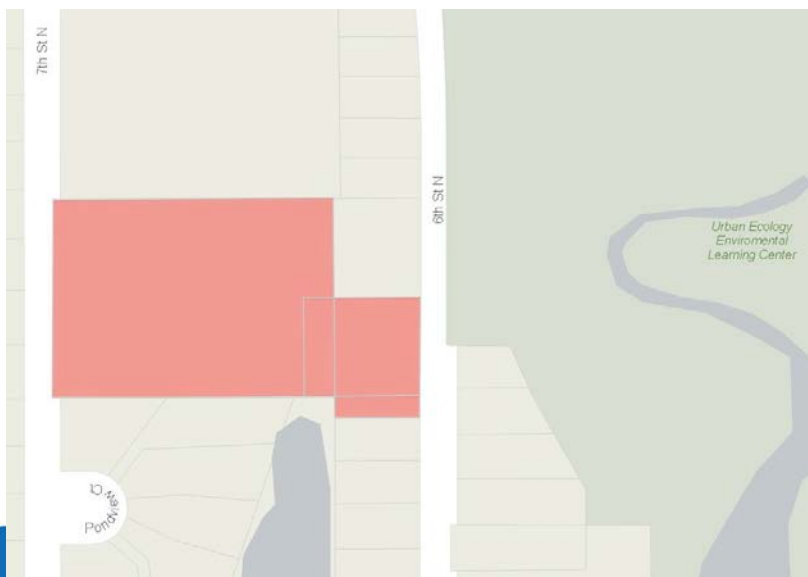
Pursuant to the provisions of the North St. Paul Zoning Ordinance, this letter is to inform you of applications for Rezoning, Major Subdivision, and a Planned Unit Development at 2242 7th St. N. The applications request rezoning the lots from R-1: Single Family Residential, to R:2 Mixed Residential, and for the development of new town homes and single family homes. A PUD is requested to accommodate the proposed lot sizes for development. A map showing the location of the subject property is provided below.

Ramsey County records indicate your residence is located within 350 feet of the site of this proposal. You are hereby notified of a public hearing to accept public input held by the Planning Commission of the City of North St. Paul at **6:15pm on Thursday, December 5th, 2019** in the Council Chambers of City Hall, 2400 Margaret St. N. The public will be invited to offer questions and comments concerning this application at that time. You may also submit comments in writing. All written comments will become part of the public record. Please feel free to contact the Planning & Zoning department at (651) 747-2595 or planner@northstpaul.org for more information.

Information relating to these applications is available the Community Development counter Monday through Friday from 8:00 a.m. to 4:30 p.m. The Planning Commission packets containing the meeting agenda and application materials will be available on the City of North St. Paul website prior to the meeting.

Sincerely,

Olivia Boerschinger
Community Development





City of North St. Paul
2400 Margaret Street
North St. Paul, MN 55109
Phone (651) 747-2407
www.northstpaul.org

ZONING & LAND USE APPLICATION

Escrow:
\$2500 min.
+ \$25 per lot
(code 1.2044)

Application Fee:
\$500.00 sketch plat
\$500.00 preliminary plat
\$500.00 Final Plat
(code 1.3290)

APPLICATION FOR MAJOR SUBDIVISION

The major subdivision process must be scheduled through the Community Development Planning and Zoning Department. The lead-time for submittals shown on this application is necessary to allow City staff and consultants time to review and comment on documents provided. Additional lead-time will be required if the City determines that the potential impacts require more detailed study, or if review by other agencies is required. Incomplete application submittals will not be forwarded to the appropriate Commission or Council until all required information has been provided.

APPLICANT INFORMATION

Applicant Name: Doug Andrus
Company (if applicable): Andrus Built LLC
Address: 2440 Charles St. No., Suite 210
City, State, Zip: North St. Paul
Phone Number: 612-750-4500
Email: doug@andrusbuilt.com
Are you the owner of the property? ☐ YES ☒ NO
(If no, you must supply property owner information)

Owner Name: Tracy Luther
Company (if applicable): K&T North St. Paul Investment
Address: 2556 7th Ave East
City, State, Zip: North St. Paul
Phone Number: 612-209-6812
Email: tluther@lutherauctions.com

PROPERTY INFORMATION

Street location of property (address): 2242 7th Street North
Parcel Identification Number (PID) (see Ramsey County website): 112922430109, 112922430008, 112922430023,
Legal description of property: See surveys 112922430022
Present zoning of property (see City website): R1
Size of property (acreage): 4.23
Title information: ☐ Abstract ☒ Torrens
Property Description: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

PROPOSAL INFORMATION

Application is hereby made for a Major Subdivision

☐ Sketch Plan ☒ Preliminary Plat (additional \$500.00 fee required) ☐ Final Plat (additional \$500.00 fee required)

The applicant hereby grants permission for the City's employees, officials, and agents to enter onto the property that is subject to this application for the purposes of viewing the property and reviewing this request.

Provide a project description (attach additional paperwork if necessary):

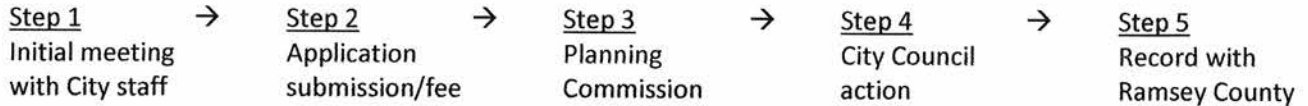
EXISTING HOUSES ON THE MULTIPLE PROPERTIES ARE BEYOND REPAIR. RAZE ALL EXISTING IMPROVEMENTS AND BUILD NEW TOWN HOMES AND SINGLE FAMILY R1 HOMES.

NOTE:

1. In addition, the City requires a Certificate of Survey reflecting the location(s) of the building(s) for all new construction prior to issuance of a building permit.
2. Filling or excavating a wetland may require a permit from the City or Watershed District.
3. County driveway permits are required where applicable.
4. Contact the Finance Department at (651) 747-2404 for sewer, water or any other pending or deferred assessments or cash connection charges. Any outstanding assessments or required cash connection fees must be paid at the time of application.
5. City Ordinances can be view online at www.amlegal.com/north_saint_paul/

LAND USE PROCESS

Review Process



	MONTH:					MONTH:				
App Submittal										
Design Review										
EAC										
Parks & Rec										
Planning Commission										
City Council										
WEEKS:	1	2	3	4	5	1	2	3	4	5

Regular Scheduled City Meetings:

PLANNING COMMISSION

1st Thursday of the month (6:15 p.m.)

DESIGN REVIEW COMMISSION

4th Thursday of the month (5:00 p.m.)

ENVIRONMENTAL ADVISORY COMMISSION

4th Monday of the month (6:00 p.m.)

PARKS & RECREATION COMMISSION

4TH Wednesday of the month (6:30 p.m.)

ECONOMIC DEVELOPMENT AUTHORITY

2ND Tuesday of every odd month (4:00 p.m.)

CITY COUNCIL

1st and 3rd Tuesday of the month (6:30 p.m.)

APPLICATION SUBMITTALS

Required	Completed	
<u>X</u>	_____	Completed application.
_____	_____	Application fee: \$500 (must submit escrow fee also, see 1st page, top right corner). (Additional fees required for Preliminary Plat and Final Plat).
<u>X</u>	_____	1 full size set and 1 electronic set of drawings of a Certified Land Survey showing:
<u>X</u>	_____	Legal description of present property to be divided, combined, or altered property line.
<u>X</u>	_____	Proposed lot lines. Clearly identify each new parcel (ie., Parcel A, Parcel B, etc.) include street widths, lots, building and set back lines, easements, etc.
<u>X</u>	_____	Dimensions of all property lines.
<u>X</u>	_____	Proposed use and area of each new lot.
<u>X</u>	_____	Existing and proposed drainage and contour plan.
<u>X</u>	_____	Location and width of proposed utility easements. (<i>The City requires new lots to have drainage and utility easement located on the front and rear 10 feet and the side 5 feet of the lot. These easements must be reflected on the survey</i>).
<u>X</u>	_____	Location and widths of existing street rights-of-way, railroad and utility rights-of-way, parks and other public open space, permanent building and easements within the existing lot and adjoining lots. (<i>The term UTILITY shall include sanitary sewers, storm sewers, water, gases, electricity, telephone, street lights, and drainage. The location and size of the nearest water main and sewer or outlet shall be indicated</i>).
<u>X</u>	_____	Areas intended to be dedicated for public use, including the areas of those dedications.
<u>X</u>	_____	Scale and North arrow.
_____	_____	Any additional data requested by the City: _____

NOTE:

- After all approvals are granted, the City will then record the survey and the certified copy of the City Resolution with Ramsey County. Ramsey County will not accept a survey or deed for recording unless the City has given their approval first.
- Verification of Ramsey County recording of the lot division is required prior to the City issuing a building permit for the new lot(s).

NOTE TO APPLICANT

All completed application and accompanying materials are due 30 days prior to the scheduled Planning Commission meeting (if applicable). The purpose of this submittal requirement is to allow for:

1. Plan distribution to the City staff, consultants, and applicable government entities.
2. Project review time and generation of staff reports.
3. Project meetings between City staff and applicants.
4. Meeting materials preparation and distribution.

The North St. Paul City Codes guide and enable development activities within the City by ensuring proper and well-coordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community. All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in an initial meeting with City staff prior to submitting a formal land use application. The initial meeting is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the initial meeting does not provide approval, or guarantee approval of the project. The City shall not accept plans, drawings, or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

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REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period for an additional 60 days, if necessary, due to insufficient information or scheduling difficulties. Please review the corresponding checklist that goes with the request. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date given may result in a delay of the review by the Planning Commission and City Council.

ACKNOWLEDGEMENT

I certify that all information submitted is true and correct and I fully understand that all information and a complete application must be submitted at least 30 days prior to a Planning Commission meeting to ensure review by the Planning commission on that date. By signing this form, I hereby acknowledge the receipt of the checklist and procedure for the project to be submitted for consideration. It is my responsibility to check all applicable ordinances pertaining to the application, comply with all ordinance requirements, and submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant signature: _____

Date: 11/04/2019

Owner Signature: _____

Date: 11/04/2019

PROPOSED MEETING DATES:

Design Review Commission: _____ Planning Commission _____ Parks & Rec Commission _____
Environmental Advisory Commission _____ City Council _____

FOR OFFICE USE ONLY

Date submitted: 11/4/19

Date complete: _____

If incomplete, date letter sent to applicant: _____

Date of public hearing: _____

Publication date: _____

Date notice sent to adjoining properties: _____

Amount fee paid: \$3575

Date fee paid: 11/4/19

Receipt #: _____ File #: _____

Planning Commission action: _____ Recommend approval: _____ Recommend denial: _____

Date applicant/property owner notified of Planning Commission action: _____

City Council action: _____ Recommend approval: _____ Recommend denial: _____

Date applicant/property owner notified of City Council action: _____

Date filed with Ramsey County Recorder office: _____

REC#: 01080853 11/04/2019 3:08 PM
OPER: 08 TERM: 099
REF#: 3878

TRAN: 1.3290 MISC LICENSE/PERMIT
2242 7TH ST. -MAJ. SUB APP FEE
MISC LICENSE 1,000.00CR

TRAN: 1.2044 LANDSCAPE ESCR DEP
2242 7TH ST N - MAJ SUB ESCROW
ESCROWS 2,575.00CR

TENDERED: 3,575.00 CHECK
APPLIED: 3,575.00-

CHANGE: 0.00

www.northstpaul.org



City of North St. Paul
2400 Margaret Street
North St. Paul, MN 55109
Phone (651) 747-2407
www.northstpaul.org

ZONING & LAND USE APPLICATION

Escrow:
\$1,000 min.
(code 1.2044)

Application Fee:
\$500.00
(code 1.3290)

APPLICATION FOR REZONING OF LAND

The rezoning process must be scheduled through the Community Development Planning and Zoning Department. The lead-time for submittals shown on this application is necessary to allow City staff and consultants time to review and comment on documents provided. Additional lead-time will be required if the City determines that the potential impacts require more detailed study, or if review by other agencies is required. Incomplete application submittals will not be forwarded to the appropriate Commission or Council until all required information has been provided.

APPLICANT INFORMATION

Applicant Name: Doug Andrus
Company (if applicable): Andrus Built LLC
Address: 2440 Charles St. No., Suite LLC
City, State, Zip: North St. Paul
Phone Number: 612-750-4500
Email: doug@andrusbuilt.com
Are you the owner of the property? ☐ YES ☒ NO
(If no, you must supply property owner information)

Owner Name: Tracy Luther
Company (if applicable): K&T North St. Paul Investment
Address: 2556 7th Ave. East
City, State, Zip: North St. Paul
Phone Number: 612-209-6812
Email: tluther@lutherauctions.com

PROPERTY INFORMATION

Street location of property (address): 2242 7th St. North
Parcel Identification Number (PID) (see Ramsey County website): 112922430109, 112922430008, 112922430023,
Legal description of property: 112922430022
Present zoning of property (see City website): R1
Size of property (acreage): 4.23 ACRES
Title information: ☐ Abstract ☒ Torrens
Property Description: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

PROPOSAL INFORMATION

Application is hereby made for rezoning certain properties:

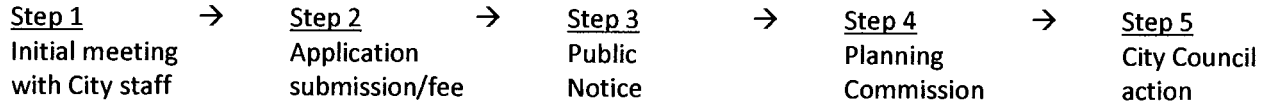
From: R1 (zoning classification) To: R2 (zoning classification)

On a separate sheet of paper, please answer the following questions in full detail:

1. What is the reason for requesting the text amendment?
2. Provide a project description (if applicable).
3. What is the current City Code text?
4. What is the new proposed text?
5. Is the proposed amendment consistent with the general purposes and intent of the Comprehensive Plan?
6. Will the proposed amendment adversely affect the health, safety, or general welfare of the City?
7. Is the proposed amendment compatible with present and future land uses in the surrounding area and reasonably related to the overall needs of the City?
8. Is the proposed amendment compatible with adjacent properties?
9. Can the proposed amendment be adequately supported by public urban services including the water supply, transportation system and capacity, police and fire protection, utilities, and sanitary waste disposal and storm water disposal systems?
10. If applicable, is the proposed amendment consistent with officially adopted City plans and overlays?

LAND USE PROCESS

Review Process



	MONTH:					MONTH:				
App Submittal										
Design Review										
EAC										
Parks & Rec										
Planning Commission										
City Council										
WEEKS:	1	2	3	4	5	1	2	3	4	5

Regular Scheduled City Meetings:

PLANNING COMMISSION

1st Thursday of the month (6:15 p.m.)

DESIGN REVIEW COMMISSION

4th Thursday of the month (5:00 p.m.)

ENVIRONMENTAL ADVISORY COMMISSION

4th Monday of the month (6:00 p.m.)

PARKS & RECREATION COMMISSION

4TH Wednesday of the month (6:30 p.m.)

ECONOMIC DEVELOPMENT AUTHORITY

2ND Tuesday of every odd month (4:00 p.m.)

CITY COUNCIL

1st and 3rd Tuesday of the month (6:30 p.m.)

APPLICATION SUBMITTALS

Required Completed

_____ _____ Completed Application.

_____ _____ Application fee: \$500 (must submit escrow fee also, see 1st page, top right corner).

_____ _____ Certificate of Survey including the following items:

Scale of drawing, legal description, dimensions of lot and north point, dimensions of front, rear and side yards, indicate buildable area, dimensions of proposed driveway(s), location of all existing buildings on the lot, location of the proposed building or construction, location of stakes established by the surveyor along each side lot line, location of all recorded and platted easements, two-foot contours and spot elevations, all encroachments, proposed drainage patterns, locate ponds, lakes, rivers, or other water features bordering on or running through the subject property, locate and depict all "significant tree(s)" to be removed on the property.

_____ _____ Vicinity map showing the property in relation to nearby highways or street intersections.

_____ _____ Proof of ownership of the property.

_____ _____ Map or plat showing the lands proposed to be changed.

_____ _____ Map or plat showing all lands within at least 350 feet of the boundaries of the property.

_____ _____ Names and address of the owners of the lands within 350 feet of property boundaries.
(Please verify and provide information from Ramsey County Records).

_____ _____ Other submittals as required by specific zoning district code section.

_____ _____ Any additional data requested by the City: _____.

NOTE TO APPLICANT

All completed application and accompanying materials are due 30 days prior to the scheduled Planning Commission meeting (if applicable). The purpose of this submittal requirement is to allow for:

1. Plan distribution to the City staff, consultants, and applicable government entities.
2. Project review time and generation of staff reports.
3. Project meetings between City staff and applicants.
4. Meeting materials preparation and distribution.

The North St. Paul City Codes guide and enable development activities within the City by ensuring proper and well-coordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community. All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in an initial meeting with City staff prior to submitting a formal land use application. The initial meeting is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the initial meeting does not provide approval, or guarantee approval of the project. The City shall not accept plans, drawings, or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

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REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period for an additional 60 days, if necessary, due to insufficient information or scheduling difficulties. Please review the corresponding checklist that goes with the request. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date given may result in a delay of the review by the Planning Commission and City Council.

ACKNOWLEDGEMENT

I certify that all information submitted is true and correct and I fully understand that all information and a complete application must be submitted at least 30 days prior to a Planning Commission meeting to ensure review by the Planning commission on that date. By signing this form, I hereby acknowledge the receipt of the checklist and procedure for the project to be submitted for consideration. It is my responsibility to check all applicable ordinances pertaining to the application, comply with all ordinance requirements, and submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant signature: _____

Date: 11/04/2019

Owner Signature: _____

Date: 11/04/2019

PROPOSED MEETING DATES:

Design Review Commission: _____ Planning Commission _____ Parks & Rec Commission _____
Environmental Advisory Commission _____ City Council _____

FOR OFFICE USE ONLY

Date submitted: 11/4/19

Date complete: _____

If incomplete, date letter sent to applicant: _____

Date of public hearing: _____

Publication date: _____

Date notice sent to adjoining properties: _____

Amount fee paid: \$1500

Date fee paid: 11/4/19

Receipt #: _____ File #: _____

Planning Commission action: _____ Recommend approval: _____ Recommend denial: _____

Date applicant/property owner notified of Planning Commission action: _____

City Council action: _____ Recommend approval: _____ Recommend denial: _____

Date applicant/property owner notified of City Council action: _____

Date filed with Ramsey County Recorder office: _____

REC#: 01080640 11/04/2019 3:04 PM
OPER: OB TERM: 099
REF#: 3879

TRAN: 1.2044 LANDSCAPE ESCR DEP
2242 7TH ST N - ESCROW
ESCROWS 1,000.00CR

TRAN: 1.3290 MISC LICENSE/PERMIT
2242 7TH ST. N - APP FEE
MISC LICENSE 500.00CR

TENDERED: 1,500.00 CHECK
APPLIED: 1,500.00-

CHANGE:
0.00

www.northstpaul.org



City of North St. Paul
2400 Margaret Street
North St. Paul, MN 55109
Phone (651) 747-2407
www.northstpaul.org

ZONING & LAND USE APPLICATION

Escrow:
\$2500 min.
+ \$25.00 per lot
(code 1.2044)

Application Fee:
\$500.00 concept plan
\$500.00 preliminary plan
\$500.00 final plan
(code 1.3290)

APPLICATION FOR PLANNED UNIT DEVELOPMENT

The planned unit development process must be scheduled through the Community Development Planning and Zoning Department. The lead-time for submittals shown on this application is necessary to allow City staff and consultants time to review and comment on documents provided. Additional lead-time will be required if the City determines that the potential impacts require more detailed study, or if review by other agencies is required. Incomplete application submittals will not be forwarded to the appropriate Commission or Council until all required information has been provided.

APPLICANT INFORMATION

Applicant Name: Doug Andrus
Company (if applicable): Andrus Built
Address: 2440 Charles St. No., Suite 210
City, State, Zip: North St. Paul
Phone Number: 612-750-4500
Email: doug@andrusbuilt.com
Are you the owner of the property? YES ☒ NO
(If no, you must supply property owner information)

Owner Name: Tracy Luther
Company (if applicable): K & T North St. Paul Investment
Address: 2556 - 7th Ave. East
City, State, Zip: North St. Paul
Phone Number: 612-209-6812
Email: tluther@lutherauctions.com

PROPERTY INFORMATION

Street location of property (address): 2242 - 7th St. North
Parcel Identification Number (PID) (see Ramsey County website): 112922430109, 112922430008, 112922430023,
Legal description of property: See Surveys 112922430022
Present zoning of property (see City website): R1
Size of property (acreage): 4.23
Title information: Abstract ☒ Torrens
Property Description: ☒ Residential ☐ Commercial ☐ Industrial ☐ Institutional

PROPOSAL INFORMATION

Application is hereby made for Planned Unit Development to conduct the following:

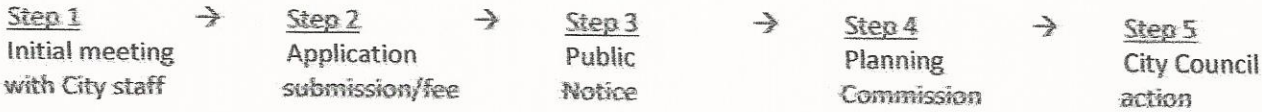
☐ Planned Residential District (PRD) ☐ Planned Commercial District (PCD)
☐ Planned Industrial District (PID) ☐ Planned Mixed-Use District (PMD)
☐ Concept PUD Plan ☒ Preliminary PUD Plan (additional \$500.00 fee required) ☐ Final PUD Plan (additional \$500.00 fee required)

On a separate sheet of paper, please answer the following questions in full detail:

1. Provide a detailed project description.
2. Is the proposed PUD compatible with present and future land uses of the area?
3. Will the proposed PUD or appearance of the proposed PUD have an adverse effect on adjacent properties?
4. What effect will the proposed PUD have on the following:
 - ❖ health, safety and general welfare of the City?
 - ❖ existing and anticipated traffic conditions?
 - ❖ parking facilities on adjacent streets and land?
 - ❖ values of properties in the surrounding area?
 - ❖ existing parks and schools?
 - ❖ existing streets and other public facilities?
 - ❖ existing public utilities which serve or are proposed to serve the area?
5. Is the proposed PUD in harmony with the general purpose and intent of the Zoning Code and the Comprehensive Plan?

LAND USE PROCESS

Review Process



	MONTH:					MONTH:				
App Submittal										
Design Review										
EAC										
Parks & Rec										
Planning Commission										
City Council										
WEEKS:	1	2	3	4	5	1	2	3	4	5

- Regular Scheduled City Meetings:
- PLANNING COMMISSION
1st Thursday of the month (6:15 p.m.)
- DESIGN REVIEW COMMISSION
4th Thursday of the month (5:00 p.m.)
- ENVIRONMENTAL ADVISORY COMMISSION
4th Monday of the month (6:00 p.m.)
- PARKS & RECREATION COMMISSION
4th Wednesday of the month (6:30 p.m.)
- ECONOMIC DEVELOPMENT AUTHORITY
2ND Tuesday of every odd month (4:00 p.m.)
- CITY COUNCIL
1st and 3rd Tuesday of the month (6:30 p.m.)

APPLICATION SUBMITTALS

Required

Completed

Completed Application.

Application fee: \$500 (must submit escrow fee also, see 1st page, top right corner).

(Additional fees required for Preliminary Plan and Final Plan).

Concept Plan – Please submit drawings illustrating the following:

Overall maximum PUD density range, Proposed general development and use, general Location of major streets, pedestrian walkways adjacent to the tract, and scale and tract boundaries and north point, general location and extent of public and/or common open space, areas to be preserved, significant topographical and physical features, Sketch illustrating the general location of residential and non-residential land uses with approximate intensities and development and any zoning change.

General Plan of Development – Please submit drawings illustrating the following:

A vicinity map: property lines, streets, easements, existing zoning, graphic scale, north point, date of preparation, show the relationship of the proposed PUD to the Comprehensive Plan, to existing schools and other community facilities and services, and to the surrounding area. Abstractor's certified copy property certificate providing names and addresses of property owners within (350) feet of the outer boundaries of the property (one copy). Legal description of the property and lot size, boundary survey prepared by a registered surveyor, including the property and two hundred feet beyond, which illustrates: Existing property lines and dimensions, ownership of all parcels, platting and easements, street and railroad right-of-ways, buildings, utility lines and facilities, public park and open space, private land use, subdivisions, and private property. Natural features map(s) illustrating: Contour lines at no more than two foot intervals, steep slopes of eighteen percent or more, hydraulic information including drainage patterns, delineated wetlands and land subject to periodic flooding, floodplain, watercourses, soil and subsoil conditions, vegetation including classification of tree cover by species. A preliminary plan of the entire area in such detail as to show: The land uses being requested, the densities being proposed, the proposed lots and blocks and the off-street parking system or preliminary plat if applicable. A written statement explaining in detail, and with supporting documentation, the specifics of the development plan as it relates to the type of dwelling units proposed and the resulting population, the extent and nature of non-residential development and the resulting traffic generated and parking demands created. The proposed schedule and/or phasing for the development of the site, the location, shape, size, and character of public or private/common open space which is suitable for the PUD, in accordance with the City Code Ch. 153 requirements for park and open space dedication, the location and size of all utilities including telephone, electricity, gas, cable, water, sanitary sewer and storm sewer, Landscape Plan including a detailed planting list, size and location of all street rights-of-way and proposed paved widths, and vehicular and pedestrian circulation, in conformance with the City Code Ch. 153. A statement setting forth the reasons why, in the opinion of the applicant, the PUD will be in the public interest and consistent with the objectives specified for PUD's, financial capacity of the developer/owner and fiscal resources available including a FDIC insured letter of credit for 110% of the estimated cost of public improvements associated with the development, market area of the project and demand trends within the area, development agreement.

Final Plan of Development – Please submit drawings illustrating the following:

See Zoning Code Section 154.008 for specific details.

NOTE TO APPLICANT

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1. Plan distribution to the City staff, consultants, and applicable government entities.
2. Project review time and generation of staff reports.
3. Project meetings between City staff and applicants.
4. Meeting materials preparation and distribution.

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APPLICATION FEE STATEMENT

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REVIEW REQUIREMENTS

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ACKNOWLEDGEMENT

I certify that all information submitted is true and correct and I fully understand that all information and a complete application must be submitted at least 30 days prior to a Planning Commission meeting to ensure review by the Planning commission on that date. By signing this form, I hereby acknowledge the receipt of the checklist and procedure for the project to be submitted for consideration. It is my responsibility to check all applicable ordinances pertaining to the application, comply with all ordinance requirements, and submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant signature: _____

Date: 11/13/19

Owner Signature: _____

Date: 11/13/19

PROPOSED MEETING DATES:

Design Review Commission: _____ Planning Commission _____ Parks & Rec Commission _____
Environmental Advisory Commission _____ City Council _____

FOR OFFICE USE ONLY

Date submitted: _____ Date complete: _____ If incomplete, date letter sent to applicant: _____
Date of public hearing: _____ Publication date: _____ Date notice sent to adjoining properties: _____
Amount fee paid: _____ Date fee paid: _____ Receipt #: _____ File #: _____

Planning Commission action: _____ Recommend approval: _____ Recommend denial: _____
Date applicant/property owner notified of Planning Commission action: _____

City Council action: _____ Recommend approval: _____ Recommend denial: _____
Date applicant/property owner notified of City Council action: _____

Date filed with Ramsey County Recorder office: _____

November 12, 2019

2440 Charles St. N. Suite 210
North St. Paul, MN 55109
651-777-0111
Fax 651-777-0999
www.andrusbuilt.com

City of North St. Paul

RE: Proposed Rezoning with P.U.D. overlay

To whom it may concern:

In order to achieve density of R2 zoning for proposed development of 7TH STREET TOWNHOMES we would like to proceed with plat and use a PUD overlay. This would allow us to reduce lot sizes and lot widths as governed by R2 zoning code. R-2 code specifies a minimum lot width of 60 feet and minimum lot area of 5,967 sq.ft. In order to get 20 units in roughly 3.43 acres we request lot sizes and lot widths be reduced in order to achieve density for proposed development.

Proposed development will contain 20 town home residential units. There is a mixture of 4 unit buildings and 2 unit buildings. Site can accommodate full basements. There is a lot of elevation change throughout site, which will add character and uniqueness to existing tranquil neighborhood. Resulting population will likely be a mix of working class, families with children and retirees alike. Town home units to have association take care of lawn maintenance and snow plowing which positively affects health, safety and general welfare of city. Traffic will be increased marginally; the slight increase will not be a safety hazard. Homes to have 2 car garages with oversized 25' long driveways which will provide additional parking spaces for even oversized vehicles if needed. Values of adjacent properties likely to remain unchanged. Existing parks and schools to be marginally, if at all, affected by this development. Streets and public utilities to be impacted very minimally by adding 20 additional families of varying ages to community. We propose to use existing public infrastructure for sanitary and water utilities. Ponding and site drainage to be contained onsite with pond along south end of block 2.

PUD is harmonious with cities long range comprehensive plan.

Road construction, site grading, utilities and tree removal to be completed on a mass basis (no phasing proposed).

Please see 10 page PDF set of proposed preliminary plat, grading plan, utility plans and other relevant information dated 11/04/2019 for additional details. Also attached is

Please feel free to contact me with any questions, comments or concerns for this proposed development.



Doug Andrus

(Top 3 inches reserved for recording data)

TRUSTEE'S DEED
By Business Entity Trustee

Minnesota Uniform Conveyancing Blanks
Form 10.4.3 (2016)

eCRV number: _____

DEED TAX DUE: \$ 510.00

DATE: 7/25/19
(month/day/year)

FOR VALUABLE CONSIDERATION, Empey Law Office, PLLC

(insert name of Trustee)

a professional limited liability company under the laws of Minnesota

as Trustee of The Omar A. Tveten Revocable Trust

(insert name of Trust)

("Grantor"), hereby conveys and quitclaims to K & T North Saint Paul Investments, LLC, a Minnesota limited liability company

(insert name of each Grantee)

("Grantee"), as

(Check only one box.)

- ☐ tenants in common,
☐ joint tenants,

(If more than one Grantee is named above and either no box is checked or both boxes are checked,
this conveyance is made to the named Grantees as tenants in common.)

real property in Ramsey County, Minnesota, legally described as follows:

South ½ of the East ¼ of Lot 24, Castle Wood, Ramsey County, Minnesota.

Commonly described as: 2231 6th Street N., North St. Paul, MN 55109.

Torrens Property Certificate of Title No. 623694.

And:

Outlot B, Sauers Pond, Ramsey County, Minnesota.

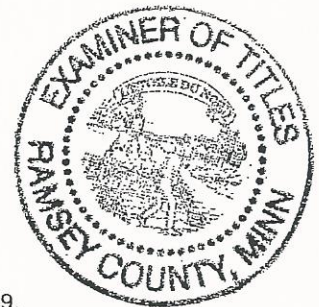
Commonly described as: 0 6th St. N., North St. Paul, MN 55109.

Torrens Property Certificate of Title No. 623692.

Check here if all or part of the described real property is Registered (Torrens) ☒

together with all hereditaments and appurtenances belonging thereto.

Subject to the lease with Justin Steinberg as applied to 2231 6th St. N., North St. Paul, MN 55109.



Check applicable box:

- ☒ The Seller certifies that the Seller does not know of any wells on the described real property.
- ☐ A well disclosure certificate accompanies this document or has been electronically filed. (If electronically filed, insert WDC number: .)
- ☐ I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Grantor

Empey Law Office, PLLC

(name of Trustee)

By: 

(signature) Craig A. Empey

Its: _____

(type of authority) CEO

By: _____

(signature)

Its: _____

(type of authority)

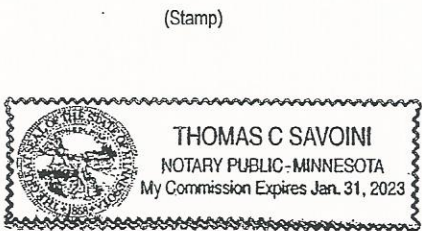
State of Minnesota, County of Hennepin

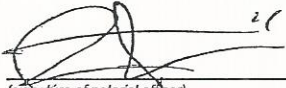
This instrument was acknowledged before me on 7/25/19, by Craig A. Empey
(month/day/year) (name of authorized signer)
as CEO
(type of authority)

and by _____
(name of authorized signer)

as _____ of Empey Law Office, PLLC
(type of authority) (name of Trustee)

as Trustee of The Omar A. Tveten Revocable Trust
(insert name of Trust)





(signature of notarial officer)

Title (and Rank): Notary Public

My commission expires: 07/25/2019

(month/day/year)

THIS INSTRUMENT WAS DRAFTED BY:
(insert name and address)

Empey Law Office, PLLC
7760 France Ave. S. #1100
Edina, MN 55435

TAX STATEMENTS FOR THE REAL PROPERTY DESCRIBED IN THIS INSTRUMENT SHOULD BE SENT TO:
(insert legal name and residential or business address of Grantee)

K & T North Saint Paul Investments, LLC
2556 7th St. Ave. E.
N. St. Paul, 55109



WARRANTY DEED

Individual(s) to Corporation or Partnership or Limited Liability Company

No delinquent taxes and transfer entered; Certificate of Real Estate Value () filed () not required
Certificate of Real Estate Value No. _____

by _____ County Auditor
Deputy

STATE DEED TAX DUE HEREON: \$ _____

Date: July 31, 2019

(reserved for recording data)

eCRV ID: _____

FOR VALUABLE CONSIDERATION, Beulah Prestrude and Albert Prestrude, wife and husband, Derena Beard and Paul Beard, wife and husband, Owen Bruce Tveten and Linda Tveten, husband and wife, and Adam Tveten, Single, Grantor(s), hereby convey and warrant to K & T North Saint Paul Investments, LLC, Grantee(s), a Limited Liability Company under the laws of Minnesota real property in Ramsey County, Minnesota, described as follows:

Lot 24, Castle Wood, except the East ¼ thereof, Ramsey County, Minnesota

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:
Subject to restrictions, reservations, covenants, conditions, and easements of record, if any.
NONE

- ☒ The Seller Certifies that the seller does not know of any wells on the described real property.
- ☐ A Well Disclosure Certificate accompanies this document or has been electronically filed.
If electronically filed, the Well Disclosure Certificate number is: _____
- ☒ I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property has not changed since the last previously filed well disclosure certificate.

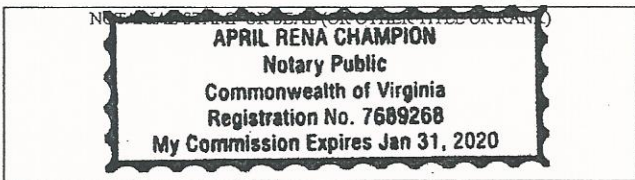
Buelah Prestrude
~~Buelah~~ Prestrude
BEULAH *BP*

Albert Prestrude
Albert Prestude

Affix Deed Tax Stamp Here

STATE OF Virginia }
COUNTY OF Bedford } SS

The foregoing instrument was acknowledged before me this 25th day of July, 2019, by ~~Buelah~~ Prestrude and Albert Prestrude, wife and husband, Grantor(s).
BEULAH *BP*



April Rena Champion
SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT

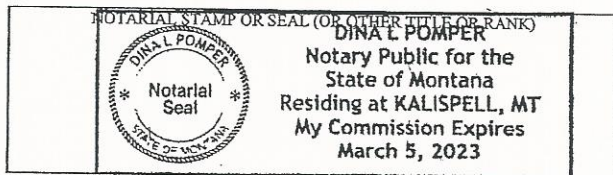
Derena Beard
Derena Beard

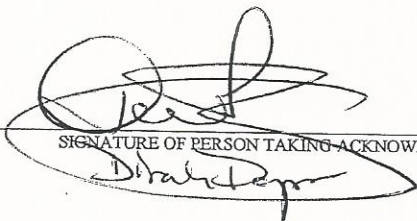
Paul Beard
Paul Beard

Affix Deed Tax Stamp Here

STATE OF Montana
COUNTY OF Flathead } SS

The foregoing instrument was acknowledged before me this 20th day of July, 2019, by Derena Beard and Paul Beard, wife and husband, Grantor(s).




SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT

37 Omar Bruce Tveten
Owen

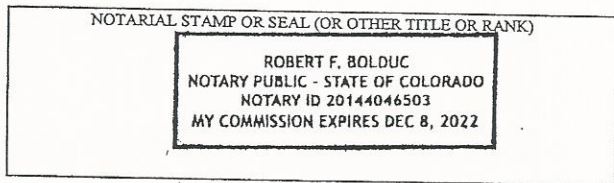
Linda Tveten
Linda Tveten

Affix Deed Tax Stamp Here

STATE OF COLORADO
COUNTY OF WELD

} SS

The foregoing instrument was acknowledged before me this 30 day of July, 2019, by ^{RFB}~~Omar~~ Bruce Tveten and Linda Tveten, husband and wife, Grantor(s). _{OWEN}



[Signature]
SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT

X Adam T. Tveten
Adam Tveten

Affix Deed Tax Stamp Here

STATE OF COLORADO
COUNTY OF BOULDER } SS

The foregoing instrument was acknowledged before me this 25TH day of July, 2019, by Adam Tveten, Single, Grantor(s).

NOTARIAL STAMP OR SEAL (OR OTHER TITLE OR RANK)

ROBERT F. BOLDUC
NOTARY PUBLIC - STATE OF COLORADO
NOTARY ID 20144046503
MY COMMISSION EXPIRES DEC 8, 2022



SIGNATURE OF PERSON TAKING ACKNOWLEDGMENT

Tax Statements for the real property described in this instrument should be sent to:

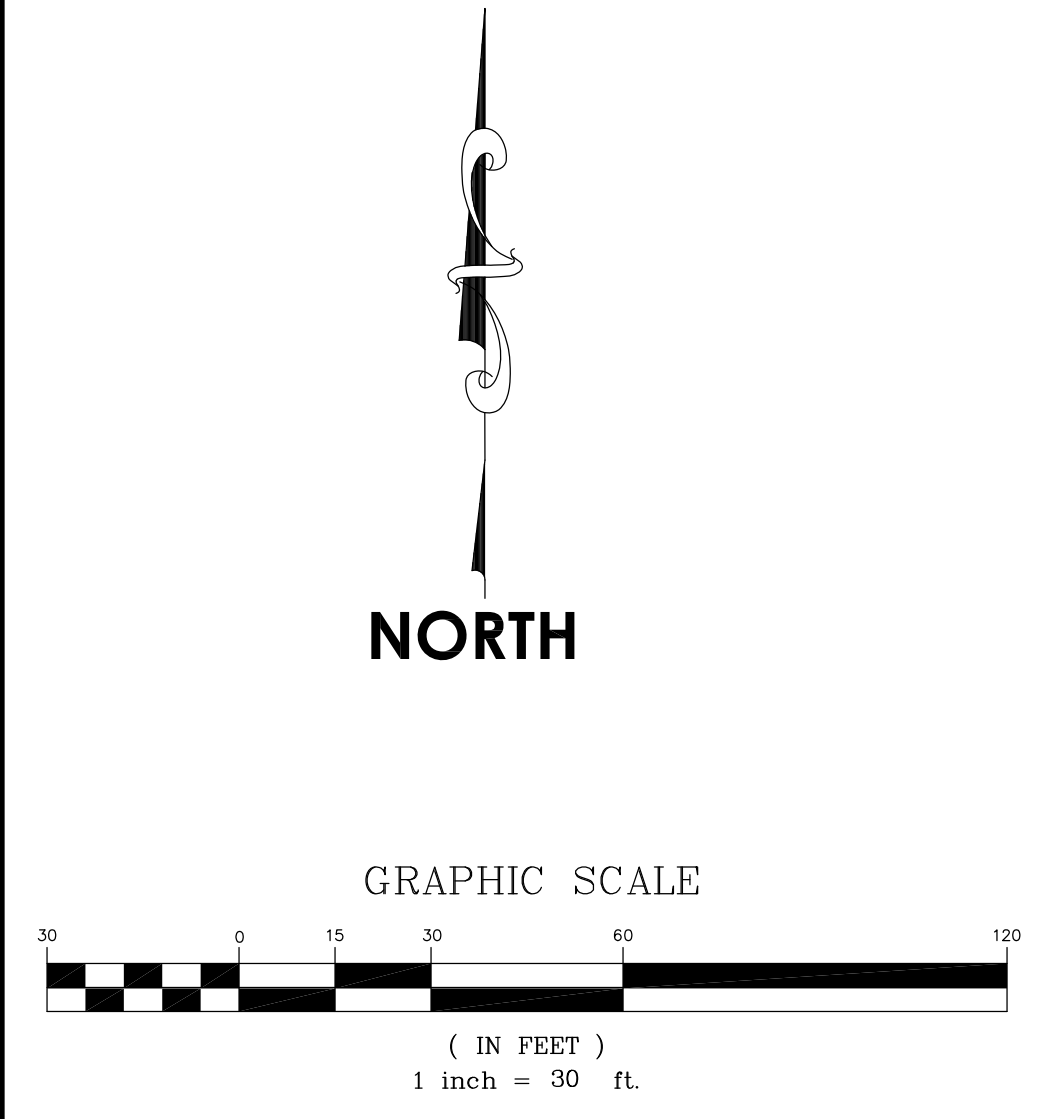
K & T North Saint Paul Investments, LLC
2556 7th Avenue E
North St. Paul, MN 55109

THIS INSTRUMENT WAS DRAFTED BY (NAME AND ADDRESS):

Network Title, Inc
371 Commerce Court
Vadnais Heights, MN 55127
19-1161

BOUNDARY & TOPOGRAPHIC SURVEY

~for~ ANDRUS BUILT



- LEGEND**
- DENOTES IRON MONUMENT FOUND
 - DENOTES IRON MONUMENT SET
 - DENOTES UTILITY POLE
 - DENOTES UTILITY BOX
 - ⊙ DENOTES MISCELLANEOUS MANHOLE
 - ⊙ DENOTES SANITARY SEWER MANHOLE
 - ⊙ DENOTES STORM SEWER MANHOLE
 - ⊙ DENOTES CATCH BASIN
 - ⊙ DENOTES GATE VALVE
 - ⊙ DENOTES FIRE HYDRANT
 - DENOTES EXISTING CONTOUR
 - DENOTES OVERHEAD WIRE
 - DENOTES UNDERGROUND ELECTRIC
 - DENOTES WATERMAIN
 - DENOTES SANITARY SEWER
 - DENOTES STORM SEWER
 - DENOTES EXISTING FENCE
 - x1011.2 DENOTES EXISTING ELEVATION.

BENCHMARK
TOP NUT FIRE HYDRANT AT NW QUADRANT OF INTERSECTIONS OF COUNTY ROAD B EAST & 6TH STREET NORTH. ELEVATION = 947.27 (PER CITY ENGINEER RECORDS, DATUM UNKNOWN).

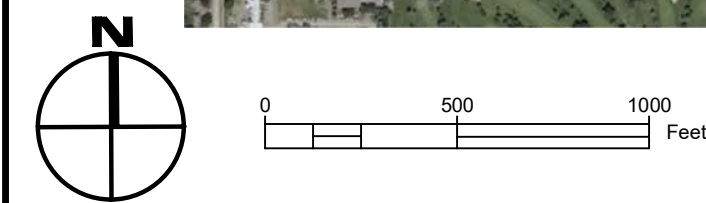
LEGAL DESCRIPTION
Parcel A:
Outlot B, SAUERS POND, Ramsey County, Minnesota. (PID 112922430109)
Parcel B:
The East 50 feet of the West one-half of the East one-half of the South one-half of Lot 24, Castle Wood, Ramsey County, Minnesota. (PID 112922430008)
Parcel C:
The south one-half of the East one-quarter of Lot 24, Castle Wood, Ramsey County, Minnesota. (PID 112922430023)
Parcel D:
All of Lot 24 in Castle Wood, EXCEPT the East one-quarter thereof, and also except the East 50 feet of the West Half of the East Half of the South Half thereof.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Eric R. Vickaryous
ERIC R. VICKARYOUS
Date: NOV. 4TH, 2019 Reg. No. 44125



PRELIMINARY PLANS FOR THE
7TH STREET TOWNHOMES
NORTH ST. PAUL, MN
NOVEMBER 2019



VICINITY MAP		PROJECT TITLE	
CONTACTS		INDEX	CERTIFICATION
OWNER: Andrus Built, LLC 2440 Charles Street N, Ste 210 North St. Paul, MN 55109 Attn: Doug Andrus Ph: 651.777.0111 doug@andrusbuilt.com SURVEY: Acre Land Surveying, Inc. 9140 Baltimore St NE Ste 100 Blaine, MN 55449 Attn: Eric Vickaryous Ph: (763) 458-2997 acrelandsurvey@gmail.com CIVIL: Civil Methods, Inc. 1551 Livingston Avenue, Ste. 104 West St. Paul, MN 55118 Attn: Dave Poggi, PE Ph: 763.210.5713 dave.poggi@civilmethods.com CITY: City of North St. Paul 2400 Margaret Street North St. Paul, MN 55109 Ph: 651.747.2595 (P&Z) Morgan Dawley, City Engineer (WSB) Ph: 763.287.7173 mdawley@wsbeng.com WATERSHED DISTRICT: Ramsey Washington Metro WD 2665 Noel Dr Little Canada, MN 55117 Ph: 651.792.7950		SHEET INDEX T01 TITLE SHEET C01 PRELIMINARY PLAT C10 EXISTING CONDITION & REMOVALS C20 SITE GRADING C30 STREET & STORM SEWER C40 SANITARY & WATER MAIN C50 EROSION & SEDIMENT CONTROL C51 SWPPP C70 - C72 DETAILS	THE EXISTING UTILITY INFORMATION SHOWN IN THIS PLAN HAS BEEN SURVEYED BY OTHERS; THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY 811 OR GOPHER STATE ONE CALL (1.800.252.1166). THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  DAVID M POGGI LICENSE: 44573DATE: 11-04-2019 PLAN REFERENCES: 1. MINNESOTA DEPT. OF TRANSPORTATION - STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2016 (XXXX) OR Mn/DOT XXXX. 2. CITY ENGINEERS ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS 2013 EDITION. 3. UNREINFORCED CONCRETE PER ACI 330R-08 AND ACI 330.1-03

PRELIMINARY PLAT OF 7TH STREET TOWNHOMES

for ANDRUS BUILT
EX. HOUSE

EX. GAR.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

NORTH

OUTLOT A

KELLY HEIGHTS

DEVELOPMENT DATA

LAND USE:
SINGLE FAMILY HOMES (R1 ZONING): 0.65± ACRES 3 LOTS
PROPOSED DEDICATED (6TH AVE.): 0.05± ACRES
PROPOSED DEDICATED (7TH AVE.): 0.10± ACRES
TOWNHOMES (R2 ZONING-INCLUDES OUTLOT): 3.43± ACRES 20 LOTS

TOTAL: 4.23± ACRES 23 UNITS

P.I.D. #112922430109
P.I.D. #112922430008
P.I.D. #112922430023
P.I.D. #112922430022

BELOW IS R1 MINIMUM REQUIREMENTS:
- MINIMUM LOT AREA = 7,920 SQ.FT.
- MINIMUM LOT WIDTH = 60 FEET
- BUILDING SETBACKS:
FRONT = 25 FEET
REAR = 25 FEET
SIDE = 6 FEET
CORNER SIDE = 15 FEET
EXISTING ZONING: R-1 (SINGLE FAMILY RESIDENTIAL)
TOWNHOMES PROPOSED TO BE REZONED TO R-2 W/ PUD OVERLAY

LEGAL DESCRIPTION

Parcel A:
Outlot B, SAUERS POND, Ramsey County, Minnesota. (PID 112922430109)
Parcel B:
The East 50 feet of the West one-half of the East one-half of the South one-half of Lot 24, Castle Wood, Ramsey County, Minnesota. (PID 112922430008)
Parcel C:
The south one-half of the East one-quarter of Lot 24, Castle Wood, Ramsey County, Minnesota. (PID 112922430023)
Parcel D:
All of Lot 24 in Castle Wood, EXCEPT the East one-quarter thereof, and also except the East 50 feet of the West Half of the East Half of the South Half thereof.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Eric R. Vickaryous
ERIC R. VICKARYOUS

Date: NOV. 4TH, 2019 Reg. No. 44125

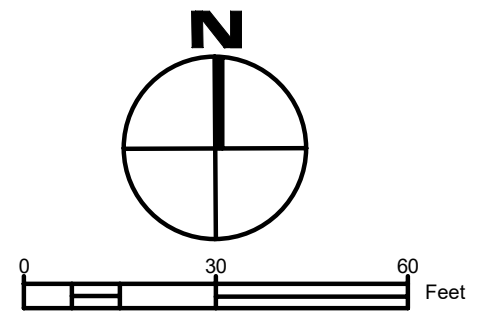
C:\Users\eric\OneDrive\CAD-1D\19242 pp Andrus St Paul\dwg\19242pp2_recover.dwg - 11/4/2019 1:43:33 PM CST

JOB #19242

SHEET C01

ACRE LAND SURVEYING
Serving Twin Cities Metro area and beyond
763-458-2997 acrelandsurvey@gmail.com

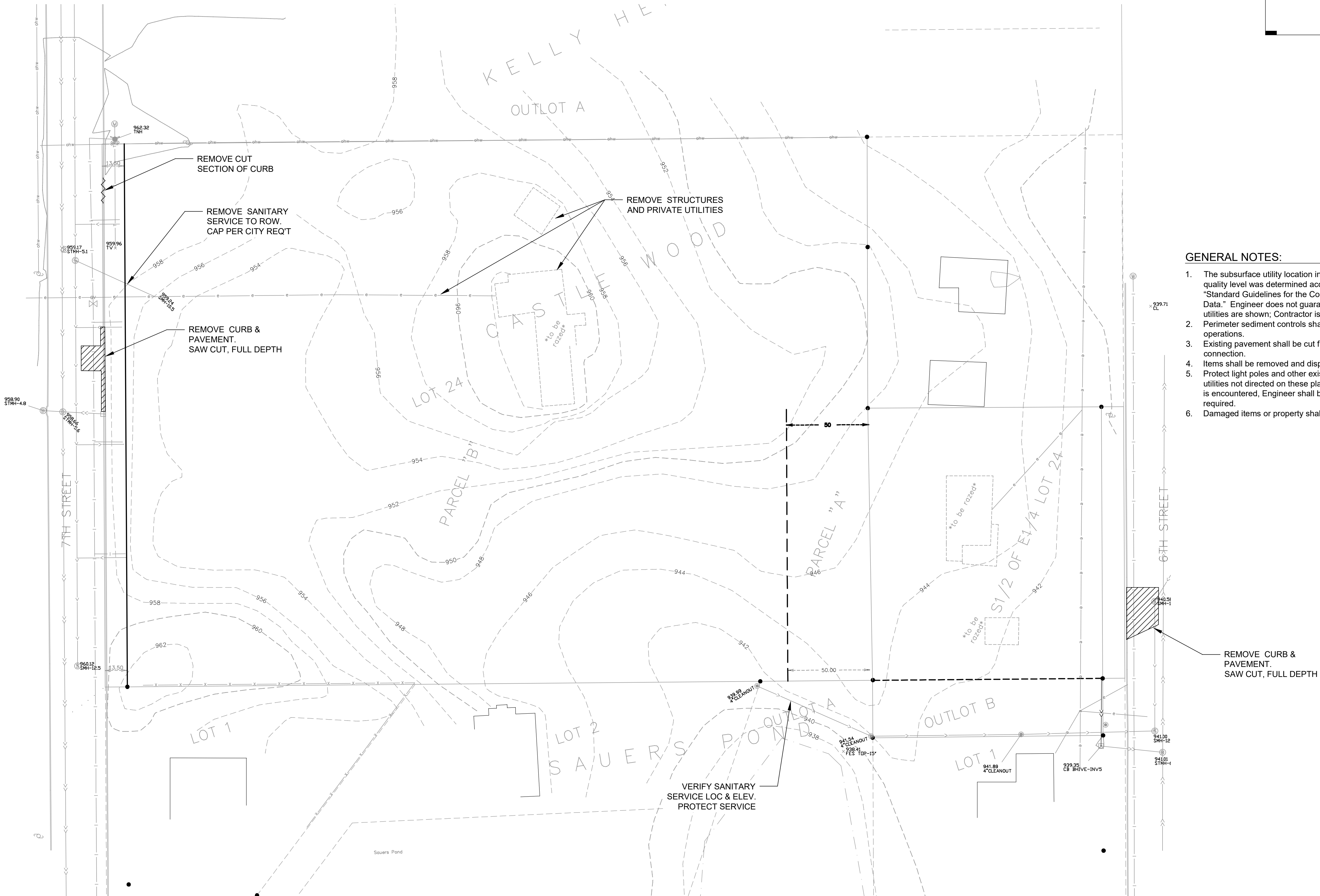
BENCHMARK
[Location]
[Elevation = xxx.xx]



LEGEND:

PROPERTY LINE	
PAVEMENT REMOVAL	
REMOVE	

- GENERAL NOTES:
- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of CI/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown; Contractor is responsible for locating utilities prior to digging.
 - Perimeter sediment controls shall be installed prior to beginning site disturbance operations.
 - Existing pavement shall be cut full-depth to provide a clean, uniform face for new connection.
 - Items shall be removed and disposed of offsite as necessary.
 - Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be coordinated with the utility owner. If drain tile is encountered, Engineer shall be notified immediately; reconnection or rerouting will be required.
 - Damaged items or property shall be repaired or replaced at Contractor's expense.



CIVIL METHODS, INC.
1551 Livingston Avenue, Suite 104
West St. Paul, MN 55118
o: 763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID M. POGGI

DATE: 11-04-2019

U.C. NO.: 44573

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION

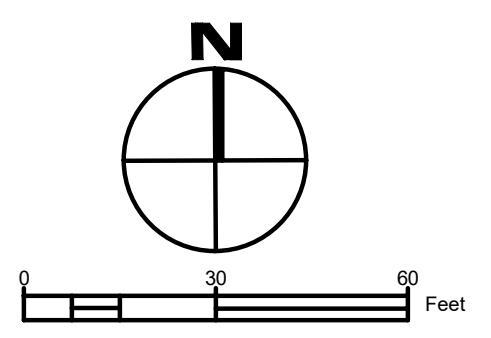
OWNER:

ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE: EXISTING CONDITION & REMOVALS
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:
C10

BENCHMARK
[Location]
[Elevation = xxx.xx]

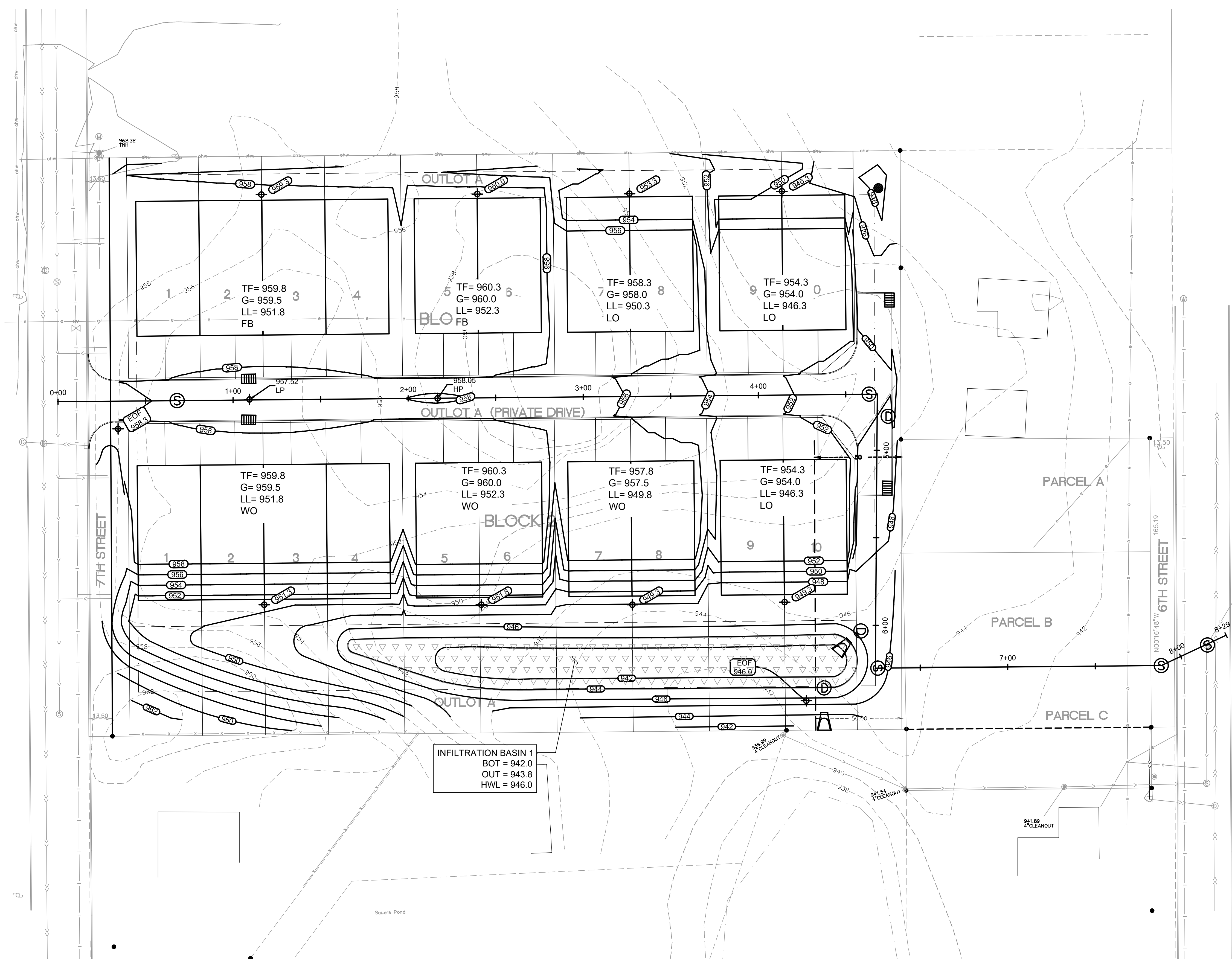


LEGEND:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SETBACK	---	---
EASEMENT	---	---
CONTOUR	---	---
STORMWATER BMP		
SPOT ELEVATION, FINAL GRADE		
DRAINAGE DIRECTION		

- GENERAL NOTES:
- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of CI/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown.
 - See Preliminary Plat for proposed parcel nomenclature and easements.
 - Contractor is responsible for locating utilities prior to digging.
 - Construction shall comply with all applicable governing codes.
 - Contractor is solely responsible for jobsite conditions, including safety of all persons and property throughout the duration of the project (not limited to working hours).
 - Damaged items or property not identified for removal shall be repaired or replaced at Contractor's expense; no extra compensation will be allowed for repair or replacement not indicated on plans or agreed upon with prior written authorization from the Owner.
 - Contours shown to finished grade.
 - Point elevations shown at flow line, unless otherwise noted.

- INFILTRATION BASIN NOTES:
- Excavate infiltration basin to subgrade with light-weight equipment or from outside the basin footprint to minimize compaction. After grading, basin bottom shall be decompacted by tilling or ripping 12"-18" deep (min.).
 - Prevent sheet flow from disturbed unvegetated areas from entering the basin directly; if necessary, install sediment control log around top of basin (to remain in place until upslope area is completely vegetated).
 - Plant native prairie grass seed and blanket / hydromulch bottom and sideslopes (to overflow) of infiltration basin.



Print Date: 11/4/2019 3:04 PM
File Loc: C:\CIVIL\Methods\Inc\CM\Documents\7 Projects\0230_North St Paul Residential\08_DRAWINGS AND SPECIFICATIONS\02_Sheet\02_Grading.dwg

CIVIL METHODS, INC.
1551 Livingston Avenue, Suite 104
West St. Paul, MN 55118
o: 763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DAVID M. POGGI

DATE: 11-04-2019

U.C. NO.: 44573

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

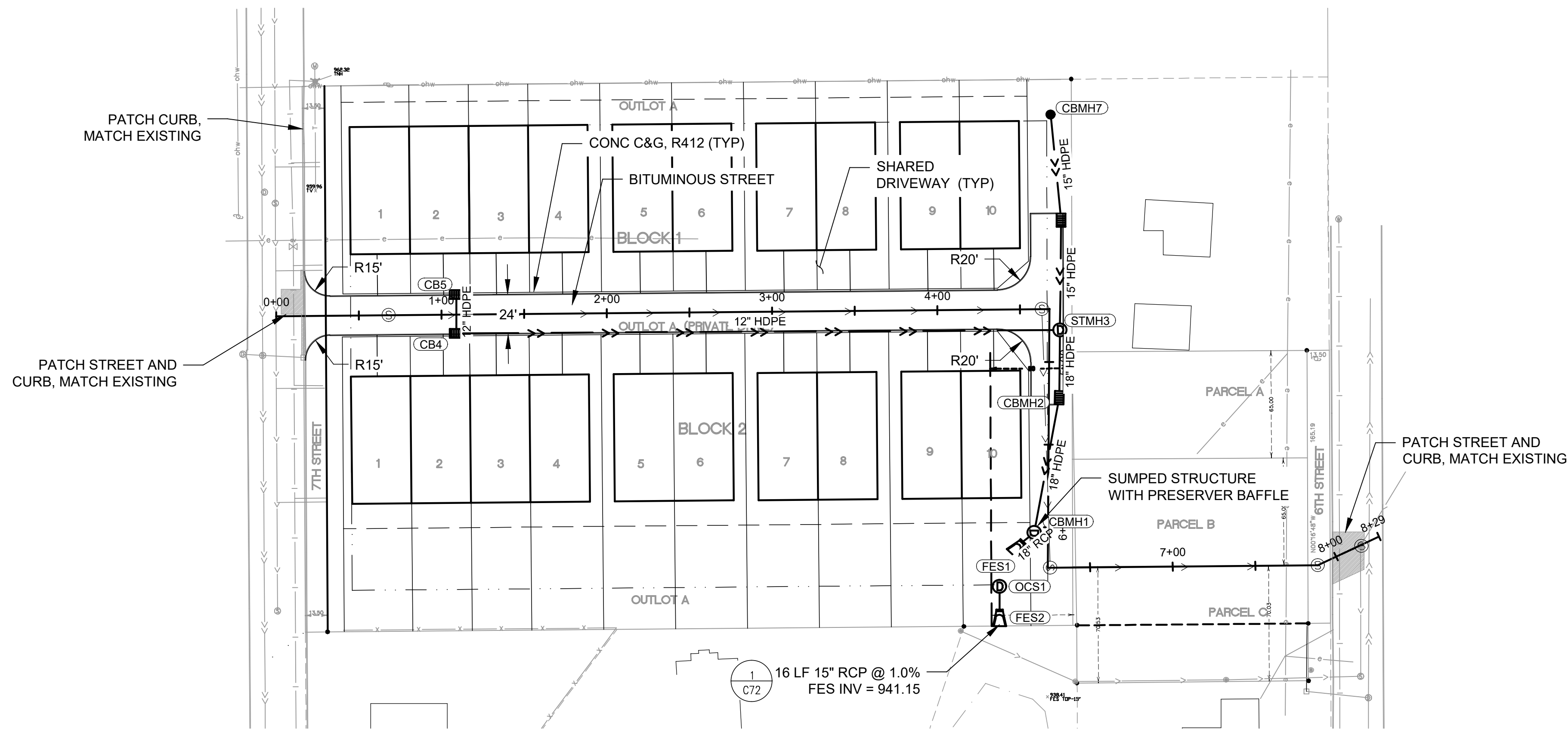
DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION

OWNER:
ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

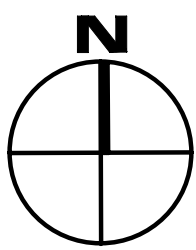
TITLE:
SITE GRADING
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:
C20





BENCHMARK
Hydrant at NW corner of property (7th Street)
TNH = 962.32



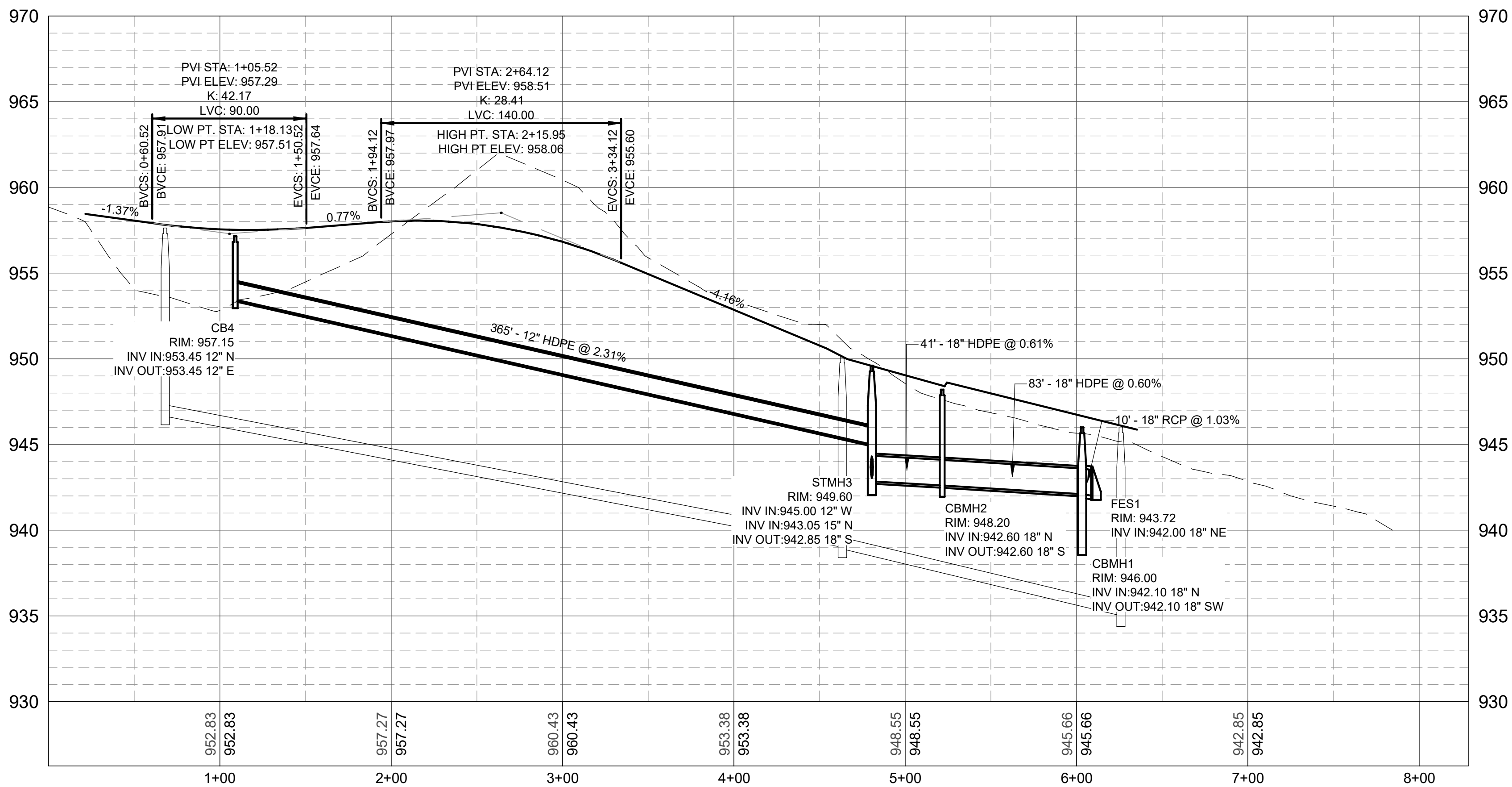
LEGEND:

PROPERTY LINE	---
SETBACK	- - - -
EASEMENT	- . - .
CURB & GUTTER	=====
BITUMINOUS STREET PATCH	▨
SANITARY SEWER	->->-
STORM SEWER	->>->>-

GENERAL NOTES:

- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of C/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown.
- Contractor shall coordinate utility connections and street disturbance with City; traffic control requirements as directed by City.
- Dimensions shown to back of curb, unless noted otherwise.
- Saw cut existing pavement full-depth to provide clean face for pavement patch.
- Storm sewer to be of type indicated; end sections shall be RCP.
- Castings shall be Neenah R3067L (rectangular), R1642 (round solid) and R4342 (round inlet).
- Rim elevations shall be sumped 0.05' below pavement grade in paved areas.

Road A, 0+00 - 8+29



CIVIL METHODS, INC.
1551 Livingston Avenue, Suite 104
West St. Paul, MN 55118
o: 763.210.5713 | www.civilmethods.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE: 11-04-2019
DAVID M POGGI
LIC. NO.: 44573

DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION

OWNER:

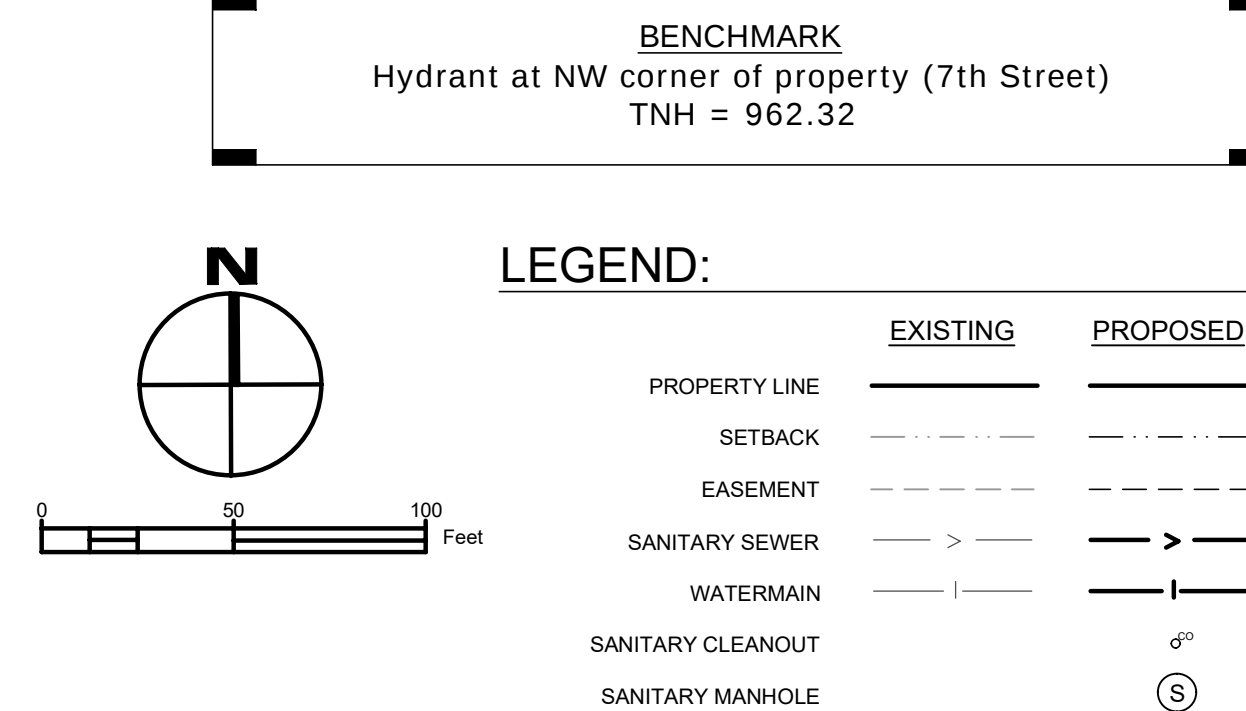
ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE:

STREET & STORM SEWER
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:

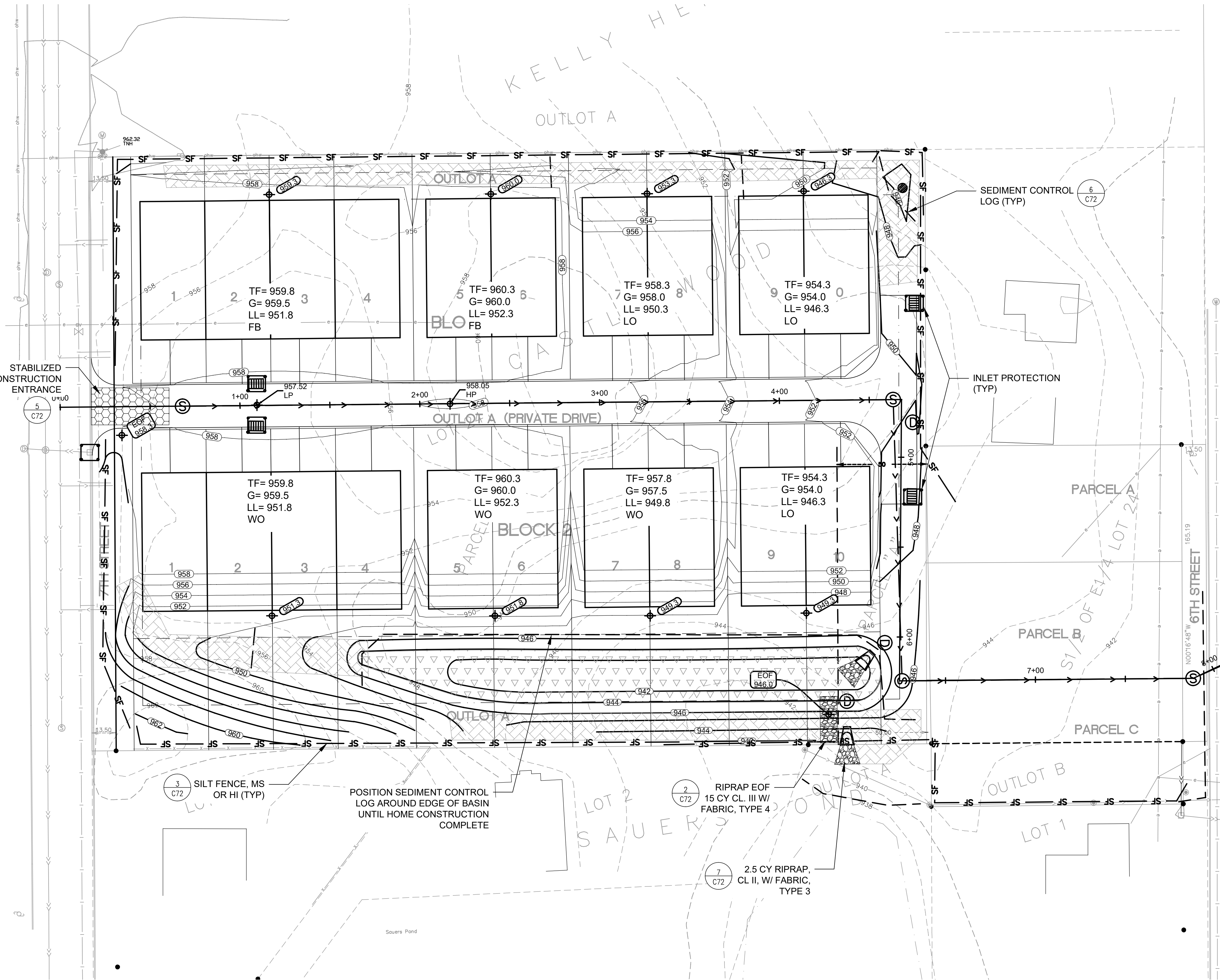
C30



1. The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of C/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown; Contractor is responsible for locating utilities prior to digging.
2. Contractor shall coordinate utility connections and street disturbance with City; traffic control requirements as directed by City.
3. Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be coordinated with the utility owner.
4. Damaged items or property shall be repaired or replaced at Contractor's expense.
5. Watermain pipe shall be ductile iron, Class 52 and have a minimum of 7.5' cover; maintain 18" separation (min.) at crossings.
6. Sanitary sewer shall be 8" PVC (SDR 35).
7. Service laterals shall be extended to 5.0' past the lot line and marked with a steel post.
8. Sanitary 4" PVC services not be laid flatter than 2.0%.
9. Maximum spacing of sanitary cleanouts shall be 100'.
10. Sanitary and water mains to be tested per City requirements.



C40



BENCHMARK
[Location]
[Elevation = xxx.xx]

LEGEND:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SETBACK	---	---
EASEMENT	---	---
WETLAND	---	---
CONTOUR	---	---
INFILTRATION BASIN PLANTINGS / SEED		
ROCK RIPRAP, RANDOM CRUSHED		
STABILIZED CONST. ENTRANCE		
SILT FENCE		
SEDIMENT CONTROL LOG		
INLET PROTECTION		
DETAIL ID: NO. / SHEET		

- EROSION CONTROL NOTES:**
- See SWPPP sheet for additional information; Contractor is responsible for obtaining MPCA NPDES Construction Stormwater Permit prior to disturbance.
 - Install construction entrance and perimeter controls prior to beginning grading operations. Additional stabilized entrances may be used; all construction traffic must enter and exit site through stabilized entrance.
 - Topsoil and erosion control items shall conform to Mn/DOT 2574-2575.
 - A minimum of 4" of topsoil shall be placed in all green space.
 - Erosion control blanket, Mn/DOT Cat.3 (3885) shall be installed as indicated.
 - Inlet sediment control shall be in place during all phases of construction and until site is seeded and mulched. Type shall be as appropriate depending on construction phase.
 - Sod or seed areas to be mowed / maintained with low-maintenance turf, Mn/DOT Mix 25-131 (3876) or as directed by Owner.
 - Seed infiltration basin bottom and sides with native wet & dry-tolerant seed, Mn/DOT Mix 33-261.
 - Seed natural areas with general roadside Mn/DOT Mix 25-141 or alternate prairie mix.
 - All seeded areas, including infiltration basin shall be seeded (or planted) and covered with hydraulic mulch matrix (3884.B2), blanket (Cat. 0) as shown, or straw mulch, Type 1.
 - Sediment control logs shall be minimum 6" diameter and installed as indicated. Logs may be straw, wood, or fiber (no compost) (3897).
 - Install sediment control log around top of infiltration basin on side adjacent to construction after final grading; remove after vegetation established on all disturbed areas.
 - Random crushed riprap per Mn/DOT 3601 shall be of class and quantity as indicated, and shall include geotextile fabric (3733).
 - Erosion discovered during construction shall be repaired immediately by the Contractor.
 - Contractor is responsible for preventing sediment transport from site; sediment tracked onto adjacent streets will be swept immediately upon discovery (incidental).

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DAVID M. POGGI

DATE: 11-04-2019

LIC. NO.: 44573

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION

OWNER:

ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE: **EROSION & SEDIMENT CONTROL**
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:
C50



ALL CONSTRUCTION ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MPCA'S **GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES/SDS PROGRAM (MNR100001)**. All sheets of this planset, as well as the related Project SWMP, are hereby referenced as part of this SWPPP; any related pages shall be revised as appropriate for differing site conditions. Specific reference permit sections included in parentheses throughout.

SITE AND CONSTRUCTION DESCRIPTION:

This project includes site grading for a new residential subdivision in North St. Paul, MN (Lat: 45.008668, Long: -93.011371).

The site work will include disturbance of approximately 4.0 acres for the construction of a 24' wide private drive, sanitary sewer, watermain, and stormwater management. Approximately 15,000 CY of material will be moved onsite for road and home construction, and all areas will be stabilized and restored as indicated in the plans. Riprap will be installed at all storm sewer and culvert pipe outlets.

The existing site is a an existing residential area and no groundwater or soil contamination is anticipated (16.15).

The Contractor shall sign the MPCA NPDES Construction Stormwater Permit application as "Operator" and be solely responsible for meeting the erosion and sediment control requirements of the permit.

Disturbed Area: 4.0 acres
Pre-Construction Impervious Area: 0.11 acres
Post-Construction Impervious Area: 1.74 acres
Newly Created Impervious Area: 1.63 acres
Permanent Stormwater Treatment Required (If >1.0 acre): YES

PERMANENT STORMWATER MANAGEMENT:

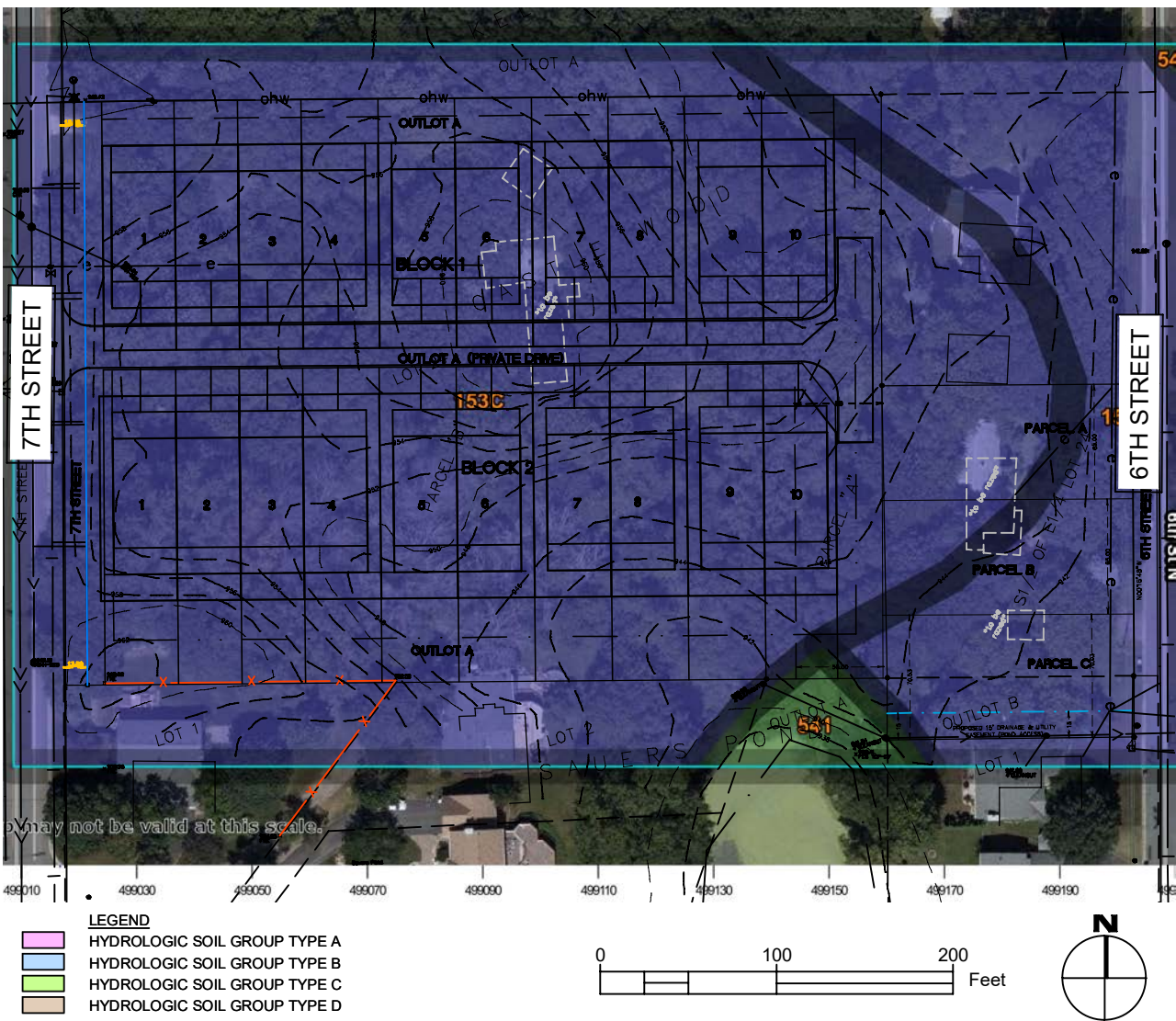
Permanent stormwater management is required by the MPCA, the Ramsey Washington Metro Watershed District, and the City of North St. Paul, and is described in detail in the project Stormwater Management Plan (SWMP) document. In summary, the site has been designed to infiltrate a WQV of 1.1" from the site impervious area, as well as not exceed existing discharge rates in the post-construction condition.

Soils at the site are silt-loams per the available soil mapping information. These soils are considered Hydrologic Soil Group Type B soils of moderate infiltration capacity. A design infiltration rate has been assumed at 0.45 in/hr for the infiltration basin, though the nature of the soil has not been confirmed with soil borings.

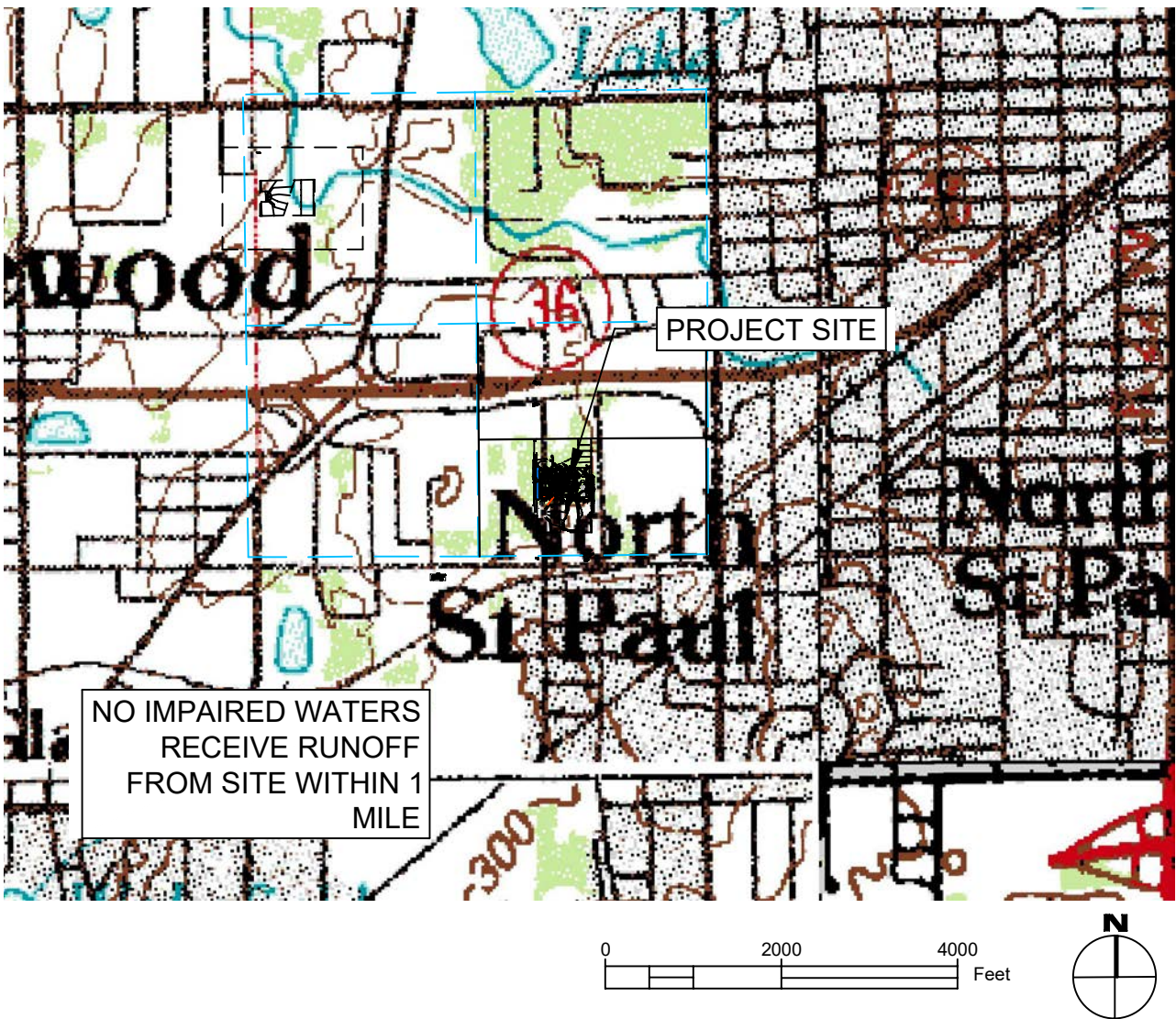
The majority of the site drains to an existing wet pond on the adjacent property to the south, which also receives runoff from the surrounding area. A portion of the property drains to the residential lots to the east and ultimately to 6th Street. All site runoff ultimately reaches the storm sewer in 6th Street.

The project site does not discharge to an Impaired Water within 1 mile, as defined by the State's Impaired Waters List.

SOILS MAP



DOWNSTREAM SURFACE WATERS AND WETLANDS



EROSION & SEDIMENT CONTROL QUANTITIES

EROSION & SEDIMENT CONTROL

- The contractor shall use phased construction whenever practical to minimize disturbed area at any one time.
- A 50' natural buffer shall be preserved within surface waters adjacent to construction. If not feasible, redundant (double) perimeter sediment controls separated by 5.0' are required. Special Waters require 100' buffer.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than **7 days** after the construction activity in that portion of the site has temporarily or permanently ceased.
- The following shall be installed within **24 hours** of connection to surface water or property edge:
 - Energy dissipation (riprap) at all outlet aprons
 - Stabilization of temporary or permanent drainage swales within 200' of property boundary or connection to surface water (e.g., storm sewer inlet, drainage swale, etc.)
- A vehicle tracking BMP must be installed at the site entrance where haul vehicles are entering and exiting the site, including: rock pad, slash mulch, wash rack, etc. Streets must be swept within 24 hours of discovery of offsite tracking.
- Temporary stockpiles must have silt fence or other applicable sediment control device around the base of the pile.
- The Contractor shall be responsible to control sediment-laden surface water from leaving site. All mobilized sediment that has left the construction zone shall be collected by the contractor and properly disposed of at no additional cost to the owner.
- Any fines levied due to inadequate erosion or sediment control practices, sediment discharging from the site, etc., shall be the responsibility of the Contractor.**
- Inlets shall be protected from sediment at all times, with appropriate protection installed for each phase of development.
- Infiltration / filtration basins shall not be excavated to final grade until contributing drainage area has been fully stabilized, unless rigorous are incorporated to keep sediment from draining to the basins (16.4).
- When excavating to within 3' of final grade of infiltration / filtration system, areas shall be staked to ensure vehicles and equipment do not compact the soil.
- Adjacent roads must be inspected and kept clear of sediment; roads to be swept within 24 hours of tracked sediment discovery.
- Additional temporary BMPs may be required to reduce the potential for sediment transport during construction. If deemed necessary by onsite personnel, Engineer or Owner shall be contacted immediately for approval or guidance, if available. Otherwise best judgment shall be used to provide rapid stabilization or sediment controls as necessary to minimize potential pollutant discharge.

CONSTRUCTION IMPLEMENTATION SCHEDULE & PHASING

- Install perimeter silt fence / sediment logs, and construction entrance as shown prior to site disturbance.
- Complete soil stripping and rough grading of site.
- Rough grade infiltration basin.
- Install pipes and pavements.
- Replace topsoil and establish vegetative cover outside house pad areas.
- Leave sediment control log around perimeter of basin until home construction complete.
- Complete site restoration and final stabilization measures (remove temporary controls after construction activity has ceased and vegetation is established).
- Submit Notice of Termination (NOT) to MPCA within 30 days.

DEWATERING & BASIN DRAINING

- Dewatering water, if necessary, must be discharged to a temporary or permanent sediment basin when feasible; if not feasible, appropriate BMPs must be used to prevent sediment-laden water from discharging downstream.
- Use appropriate energy dissipation measures on all discharges to prevent erosion at discharge outlet. Discharge must not cause nuisance or erosive conditions to downstream properties or receiving channels. Excessive inundation of downstream wetlands is not permitted (if applicable).
- If filters with backwash water are used, all backwash water must be hauled offsite for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner not causing erosion.

INSPECTIONS & MAINTENANCE

- The contractor must routinely inspect the construction site once every 7 days during construction, and within 24 hrs of receiving more than ½" of rain in 24 hrs. Rainfall amounts must be measured by a properly installed rain gage onsite, or from a weather station within 1 mile of the project, or from a weather reporting system with site specific radar rainfall summaries (11.11).
- All inspections and rainfalls > ½" must be recorded and retained onsite with the SWPPP. Inspections shall include: date/time, name of individual, date & amount of rainfall, findings, corrective actions, observed discharge/location/description, any proposed SWPPP amendments.
- Inspections may be suspended when work is stopped due to frozen conditions. The Contractor's inspector must resume inspections within 24 hours after runoff occurs at the site or prior to resuming construction, whichever comes first.
- Silt fence (or related perimeter control device) must be maintained when accumulated sediment reaches ½ the height of the device, or if device becomes ineffective (by the end of the next business day following discovery).
- Permanent and temporary sediment basins, if applicable, shall be drained and cleaned when sediment depth reaches ½ of original storage volume; complete within 72 hrs of discovery. Must be cleaned prior to project completion.
- Non-functional BMPs must be repaired or replaced by the end of the next business day following discovery.
- Inspect downstream ditch / drainage system for signs of erosion or sediment buildup during each inspection; stabilize within 7 days.
- Inspect vehicle exit locations and adjacent streets; remove sediment from surfaces within 1 day.

POLLUTION PREVENTION

- All solid waste generated at the site must be disposed of in accordance with all applicable federal and state regulations.
- All hazardous materials must be properly stored/contained to prevent spills or leaks; materials must be properly disposed of per applicable regulations, including Minn. Rule Ch. 7045. Restricted access storage areas must be provided to prevent vandalism.
- Vehicle or equipment washing must be confined to a defined area (minimum of 100' from pond or drainage ditch); runoff containing any hazardous materials must be collected and properly disposed of. Defined area must be delineated with heavy-duty silt fence (incidental); no engine degreasing is allowed on-site.
- Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscape materials must be under cover to prevent pollutant discharge, or protected by similar means to minimize potential contact with stormwater.
- Concrete and other washout waste must be effectively contained - solid and liquid washout waste must not contact ground and must be disposed of properly in compliance with MPCA rules. A sign must be installed at washout area requiring personnel to utilize the proper facilities for disposal of concrete and other wastes.
- The contractor is solely responsible for monitoring air pollution and ensuring that it does not exceed levels set by any agency or LGU. This includes dust created by work performed at the site; air pollution and dust control measures are incidental to the contract. The engineer may require additional dust control measures to be implemented, as necessary.
- Adequate temporary restroom facilities shall be present onsite in a stable and secure location during construction operations, and shall be maintained in an adequate functioning condition.

FINAL STABILIZATION

- The Contractor must ensure final site stabilization meets the Permit requirements, and submit the NOT within 30 days.
- Final stabilization includes uniform perennial vegetative cover of at least 70% of the expected final growth density over the entire pervious surface area, or other equivalent cover to prevent soil erosion.
- All temporary synthetic and structural BMPs must be removed as part of final stabilization.

RECORD RETENTION

- The SWPPP, all revisions to it, and inspection & maintenance records are the responsibility of the Contractor and must remain at the site during construction hours. The materials may be kept in a field office, onsite vehicle, or "SWPPP Mailbox".
- Training documentation shall be provided by Contractor as outlined below and required.
- The SWPPP, project permits, inspection/maintenance logs, stormwater maintenance agreements, and stormwater management design calculations must be retained for 3 years after submittal of permit NOT. Contractor shall provide Owner or Engineer copies of inspection and maintenance logs prior to final payment.

TRAINING REQUIREMENTS

- The permittees must comply with the training requirements as outlined in Section 21 of the Permit. The Contractor shall have a trained individual performing BMP installations and inspections, as required.
- Training table (below) to be completed prior to construction, as appropriate.

RESPONSIBLE PARTIES & TRAINING SUMMARY

	COMPANY	CONTACT	PHONE	TRAINING DATE	COURSE / ENTITY	CONTENT
OWNER:	ANDRUS BUILT, LLC	DOUG ANDRUS	651.777.0111	NA	NA	NA
SWPPP PREPARER:	CIVIL METHODS, INC.		763.210.5713	8/31/2018	CMi EDU SERIES	SWPPP PREP FOR 2018 NPDES PERMIT
GENERAL CONTRACTOR / INSPECTOR:						
EROSION & SEDIMENT CONTROL INSTALLER:						
PERMANENT BMP OPERATOR / MAINTAINER:				NA	NA	NA

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DAVID M. POGGI
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DRAWN: DMP
CHECKED: KEB

DATE / REVISION:
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OWNER:

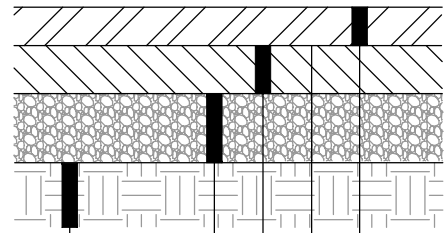
ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE:

SWPPP
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:

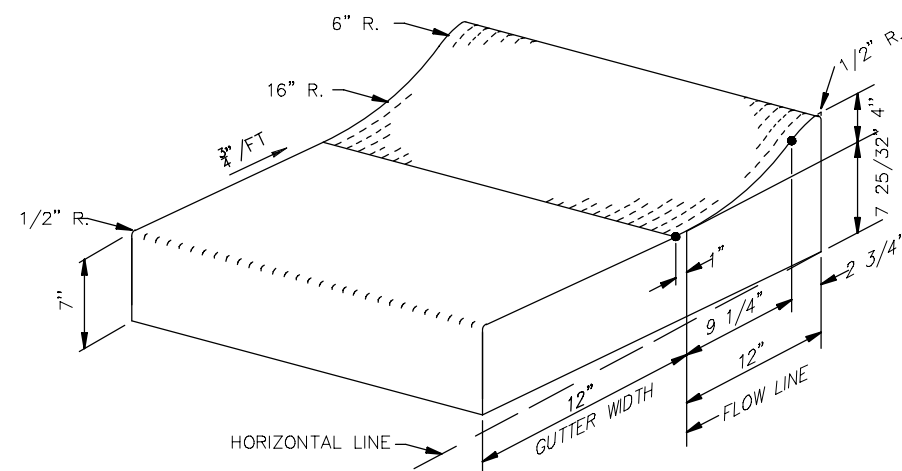
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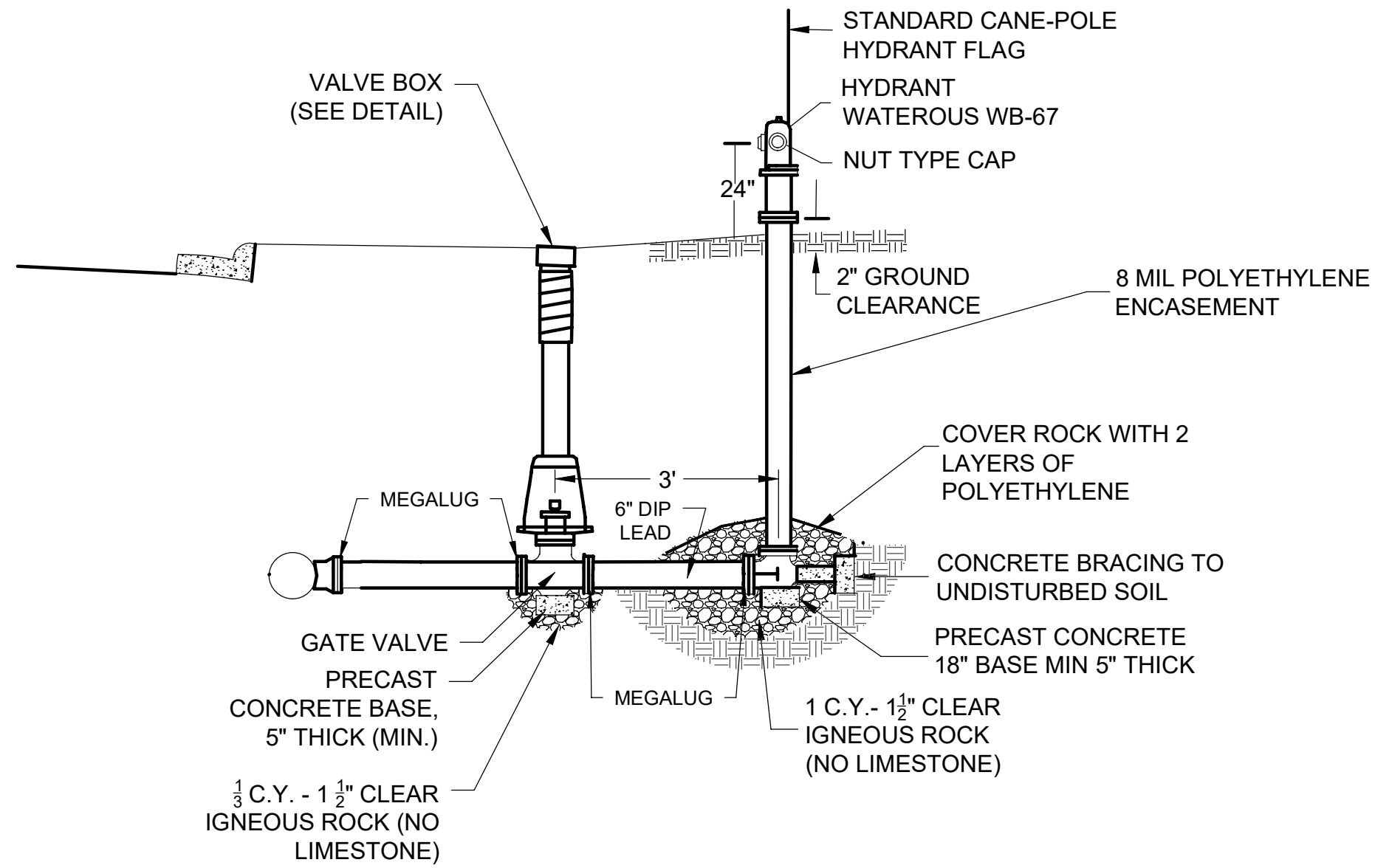
NOTE:
MINIMUM SECTION SHOWN; MATCH EXISTING IN STREET

- 1.5" HMA TYPE SPWEA340B (2360)
- BITUMINOUS TACK COAT (2357)
- 2.0" HMA TYPE SPNWB230B (2360)
- 8" AGGREGATE BASE, CLASS V (2211)
- SUBGRADE PREPARATION / SUITABLE BORROW (2112)

1 ASPHALT PAVEMENT SECTION



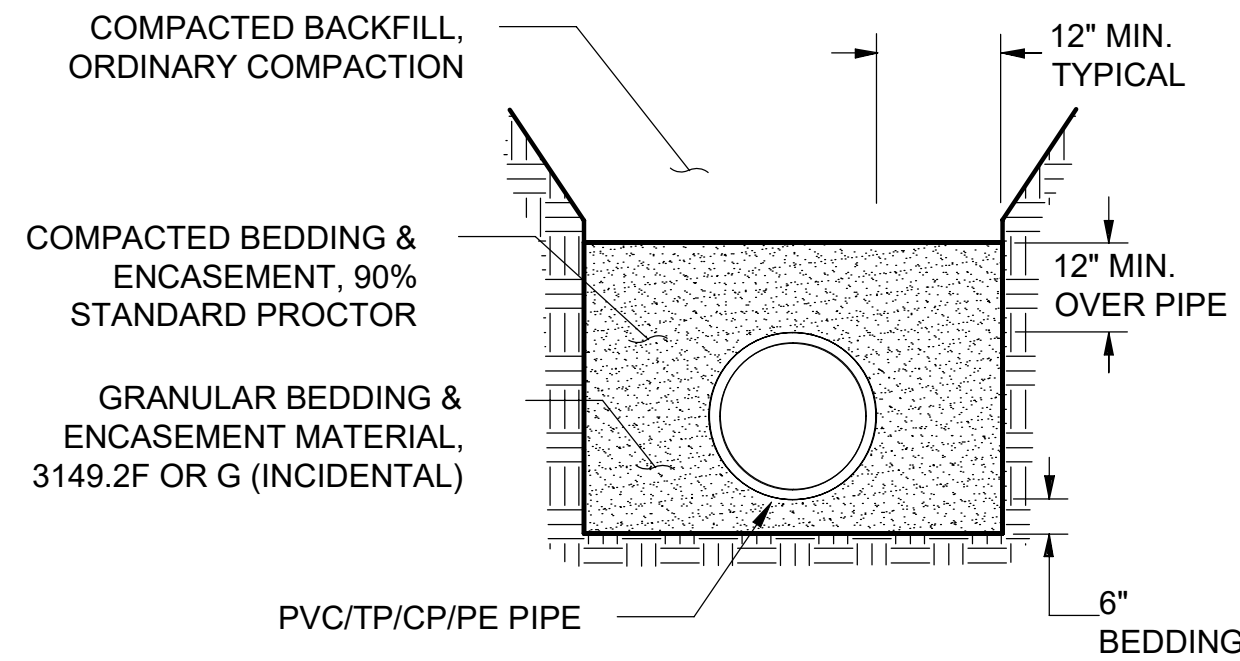
2 CONCRETE CURB & GUTTER, R412



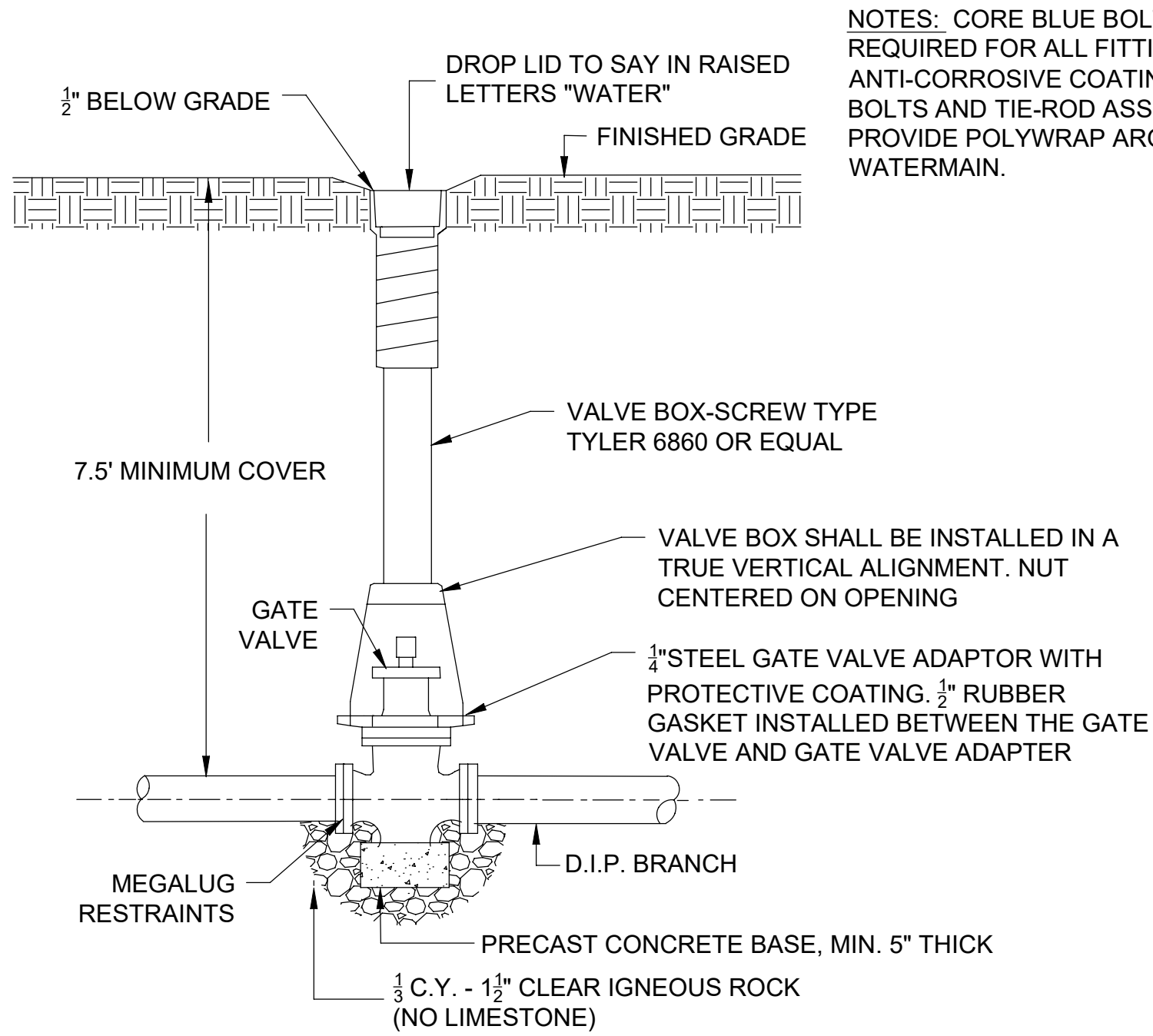
NOTES:

- ALL HYDRANTS MUST BE 8.0' BURY. WATERMAIN SHALL HAVE 7.5' COVER.
- AMERICAN FLOW CONTROL 2500 SERIES RESILIENT WEDGE TYPE GATE OR APPROVED EQUAL.
- TIE RODS TO BE 3/4" DIAMETER THREADED (316) STAINLESS STEEL.
- ALL WATERMAIN BOLTS SHALL BE CORE-BLUE OR APPROVED EQUAL.
- ANTI-CORROSIVE COATING REQUIRED ON ALL BOLTS AND TIE ROD ASSEMBLIES.
- POURED CONCRETE OR PRECAST BLOCKS TO BE USED FOR BRACING (NO WOOD, CURBING, SIDEWALK, ETC.)
- ALL JOINTS MUST BE RESTRAINED WITH MEGALUG THRUST RESTRAINT (OR EQUAL)
- ALL HYDRANT BARRELS SHALL BE WRAPPED WITH POLYETHYLENE ENCASMENT.
- WHERE HYDRANT BASE IS IN OR NEAR WATER TABLE, THE WEEPHOLE SHALL BE PLUGGED. AFFIX "DRAIN HOLES PLUGGED, PUMP AFTER USE" TAG TO HYDRANT.
- ALL EXPOSED WATERMAIN SHALL BE WRAPPED IN POLYETHYLENE IN ACCORDANCE WITH AWWA C105.

4 HYDRANT INSTALLATION

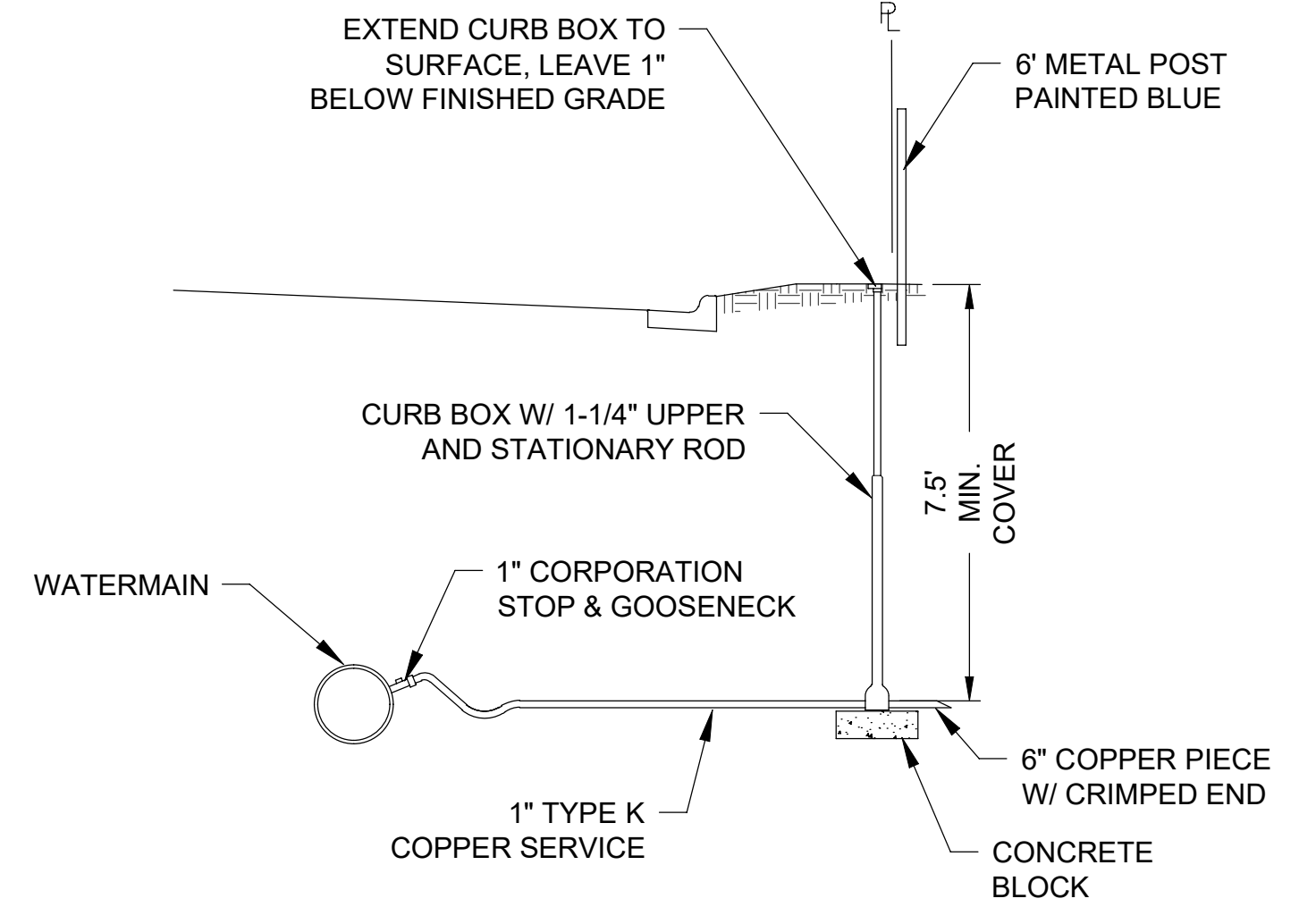


3 PIPE TRENCH - FLEXIBLE & DIP



NOTES: CORE BLUE BOLTS
REQUIRED FOR ALL FITTINGS;
ANTI-CORROSIVE COATING ON ALL
BOLTS AND TIE-ROD ASSEMBLIES.
PROVIDE POLYWRAP AROUND ALL
WATERMAIN.

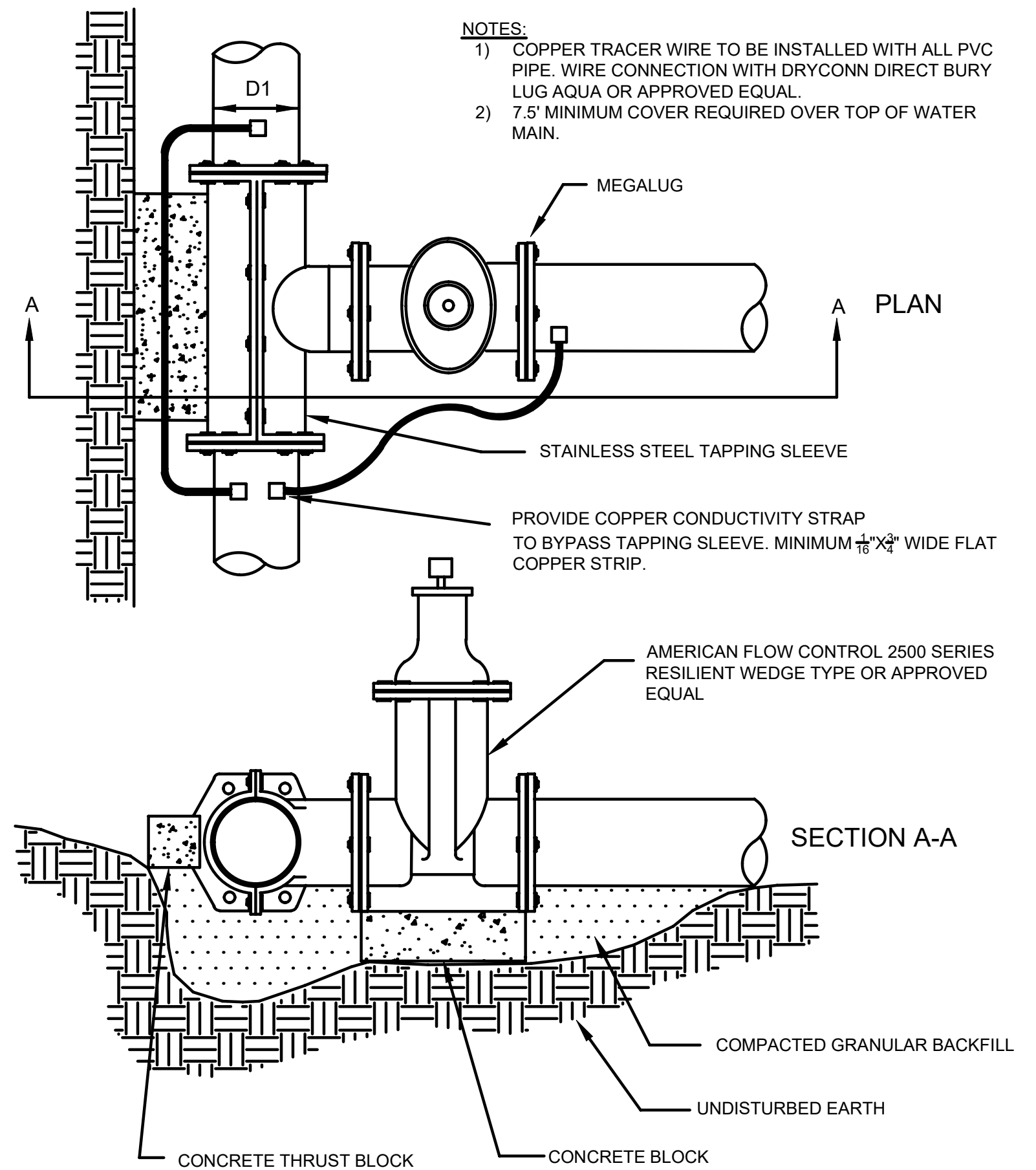
5 GATE VALVE INSTALLATION



NOTES:

- CURB STOP AND BOX SHALL BE MINNEAPOLIS STYLE THREADED.
- CURB BOX SHALL EXTEND FROM 78" TO 90".
- WHEN CURB BOX FALLS IN DRIVEWAY, CONTRACTOR SHALL
INSTALL FORD A-1 CASTING W/ LID MARKED "WATER".
- COPPER SERVICE PIPE SHALL BE ONE CONTINUOUS PIECE OF
COPPER TO CURB BOX.
- IF SERVICE TAPPING SADDLE IS REQUIRED, IT SHALL BE
STAINLESS STEEL WRAP-AROUND STYLE SMITH-BLAIR TYPE 372
OR APPROVED EQUAL.

6 WATER SERVICE CONNECTION



NOTES:

- COPPER TRACER WIRE TO BE INSTALLED WITH ALL PVC
PIPE. WIRE CONNECTION WITH DRYCONN DIRECT BURY
LUG AQUA OR APPROVED EQUAL.
- 7.5' MINIMUM COVER REQUIRED OVER TOP OF WATER
MAIN.

7 WATER MAIN WET-TAP

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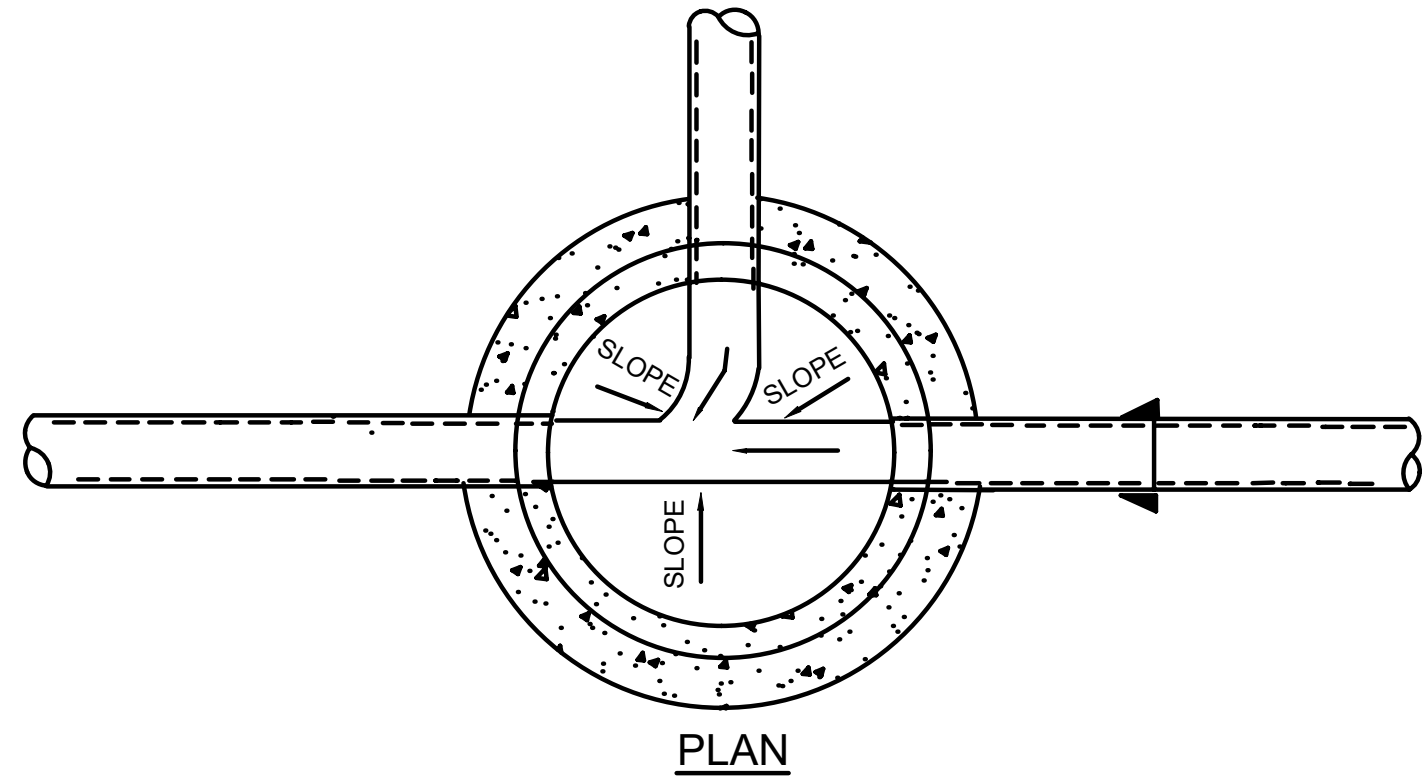
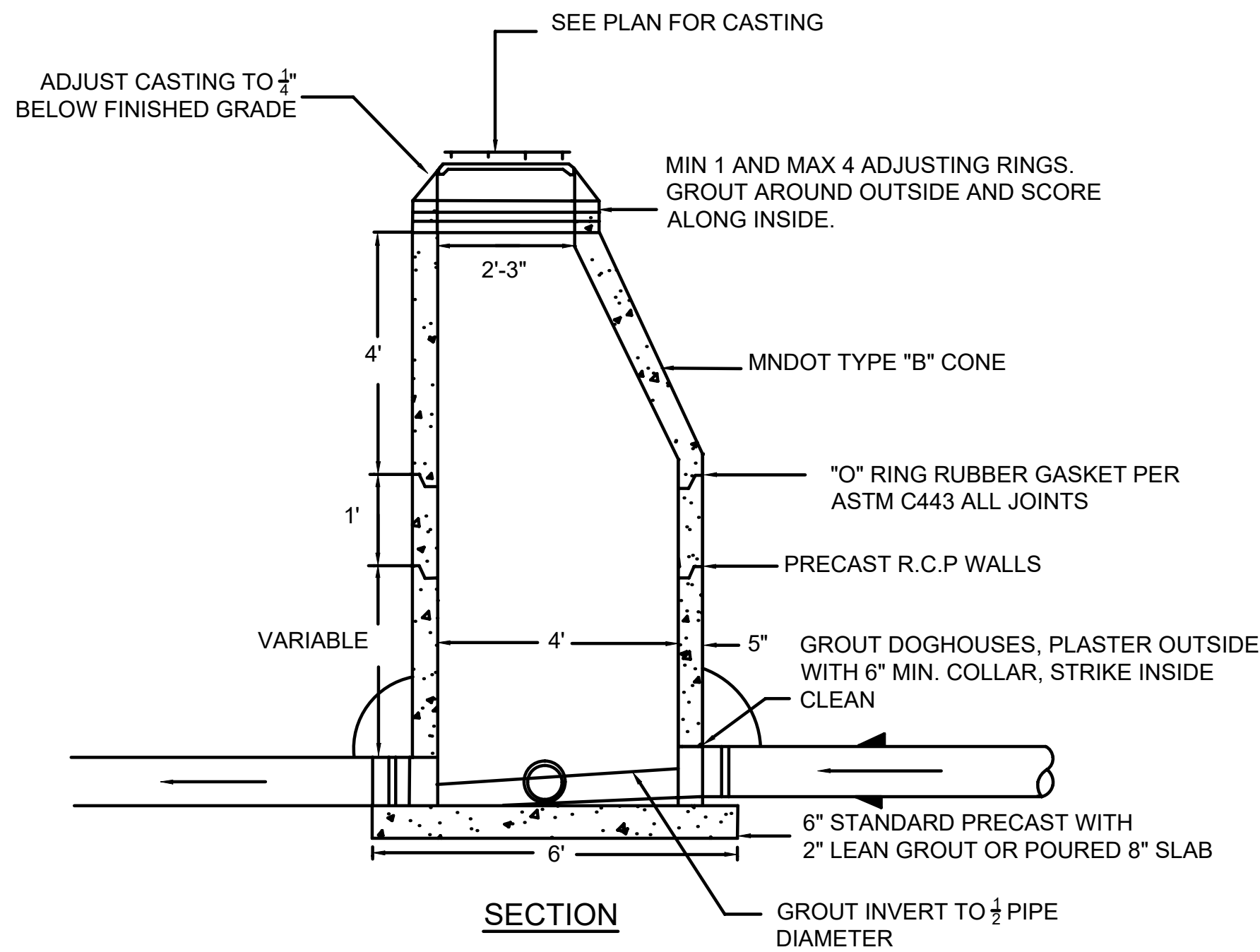
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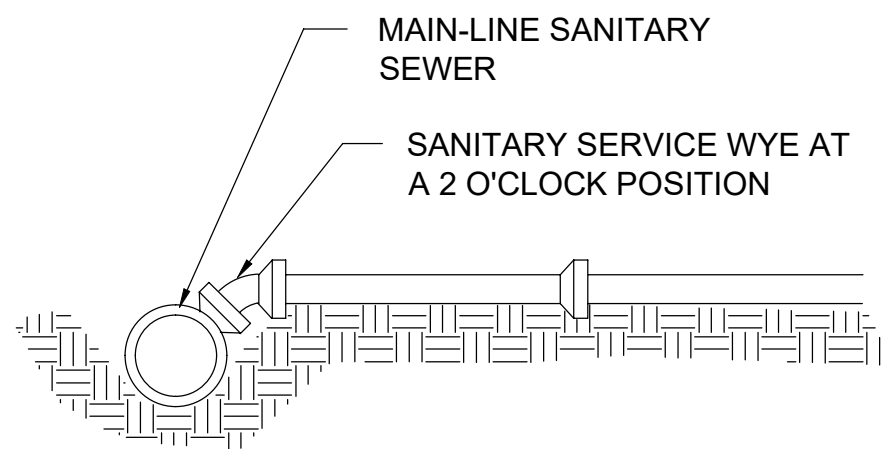


1
C71

SANITARY MANHOLE

NOTES:

- SERVICE PIPE SHALL BE EXTENDED 5.0' PAST PROPERTY LINE AND BEDDED IN COMPACTED GRANULAR BORROW, 3149.2B1.
- PVC PIPE JOINTS SHALL BE NON-GASKETED SOLVENT-WELDED.
- INSTALL #8 SOLID COPPER TRACER WIRE FROM MAIN LINE TO END; STAKE END WITH METAL POST PAINTED GREEN.

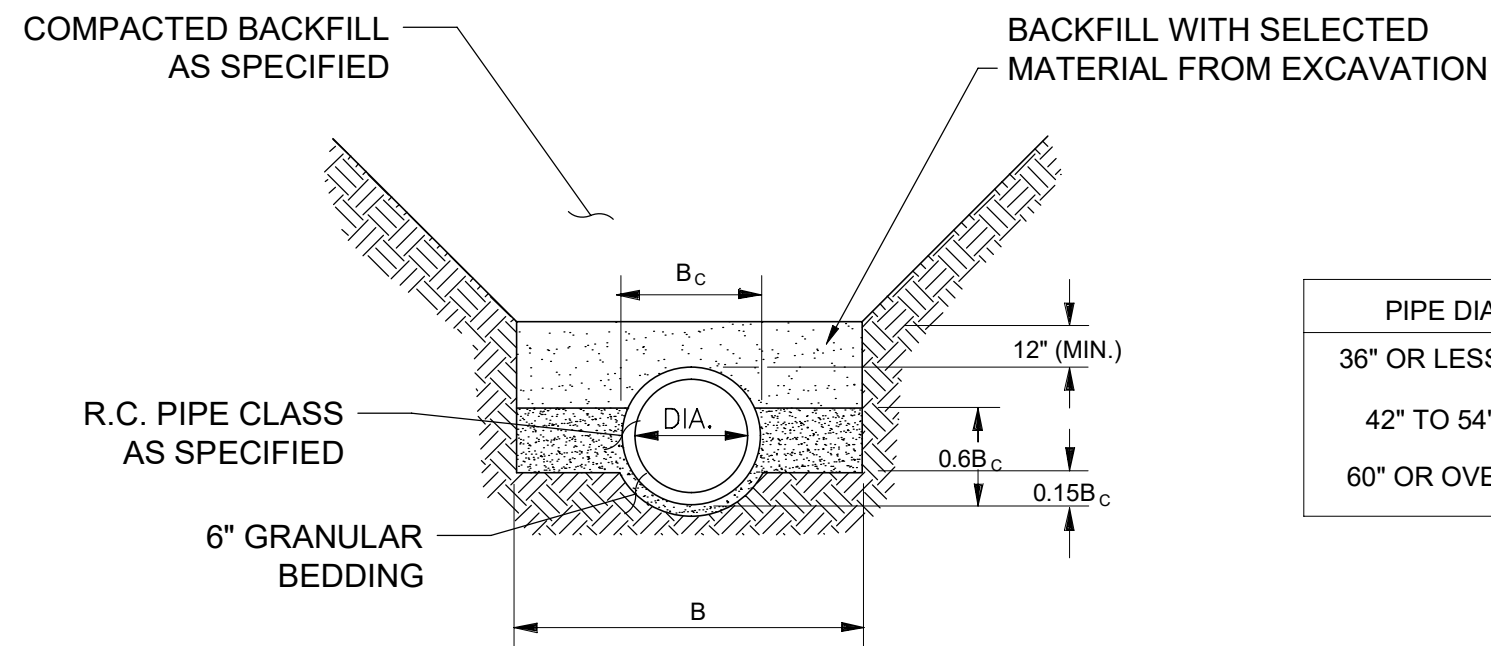


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C71

SANITARY SERVICE CONNECTION

PIPE INSTALLATION NOTES:

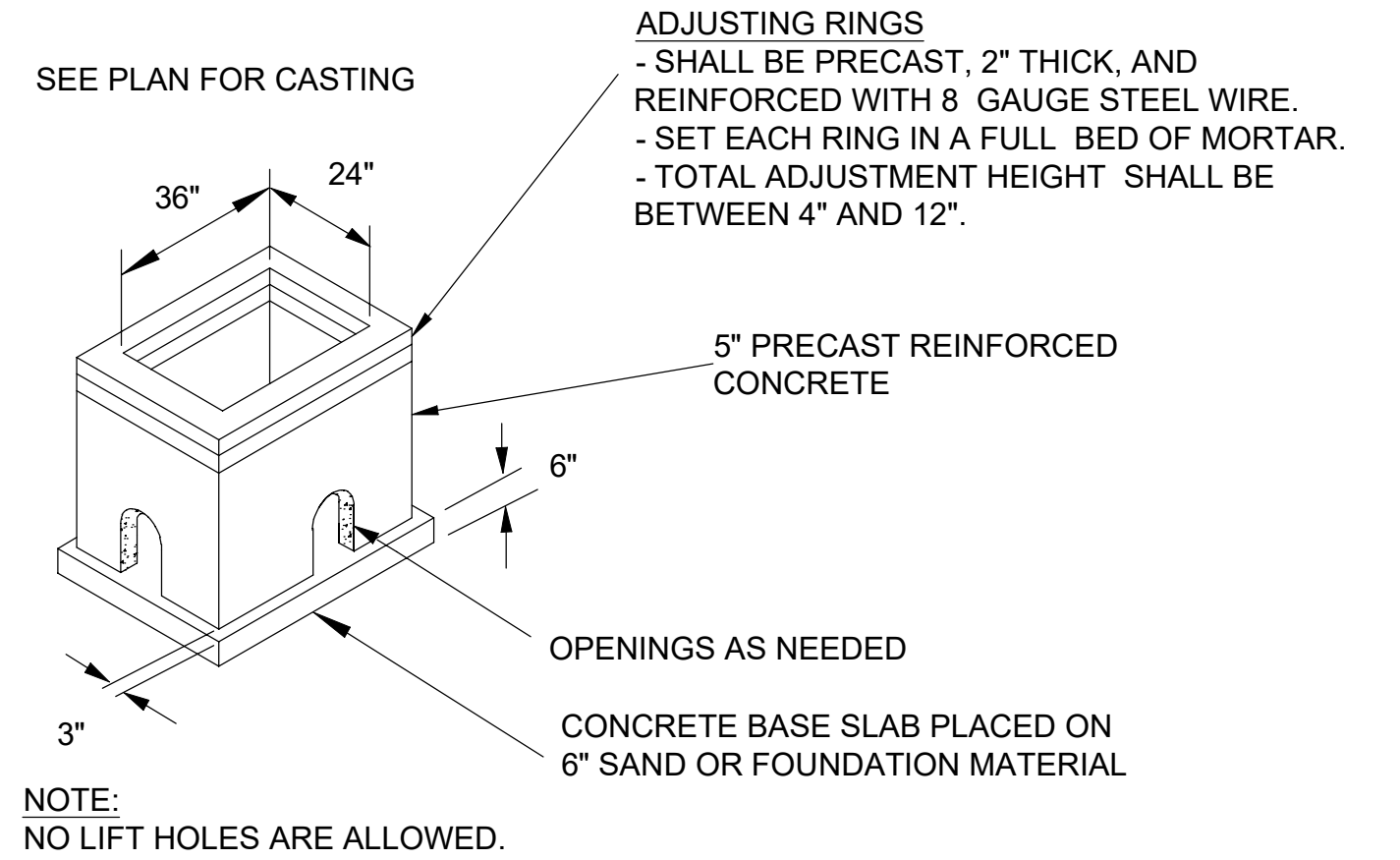
- Granular bedding & encasement shall conform to Mn/DOT specification 3149.2F.
- Encasement, foundation and backfill material is incidental to storm sewer pipe construction.
- Culvert inverts shall be kept clean during construction; the contractor is responsible to clean all pipe that has been contaminated during construction.
- Joints shall include rubber gaskets and be water-tight.
- Contractor may, at its own discretion, wrap joints with geotextile fabric in lieu of placing mastic in the joint.
- Bedding and encasement shall be compacted to 90% Standard Proctor using Specified Density Method, or as recommended by manufacturer, whichever is denser.
- Backfill shall be compacted to Specified Density Method:
 - 100% Standard Proctor from subgrade elevation down 3 feet.
 - 95% Standard Proctor from bottom of excavation up to 3 feet Below subgrade elevation.



PIPE DIA.	B
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

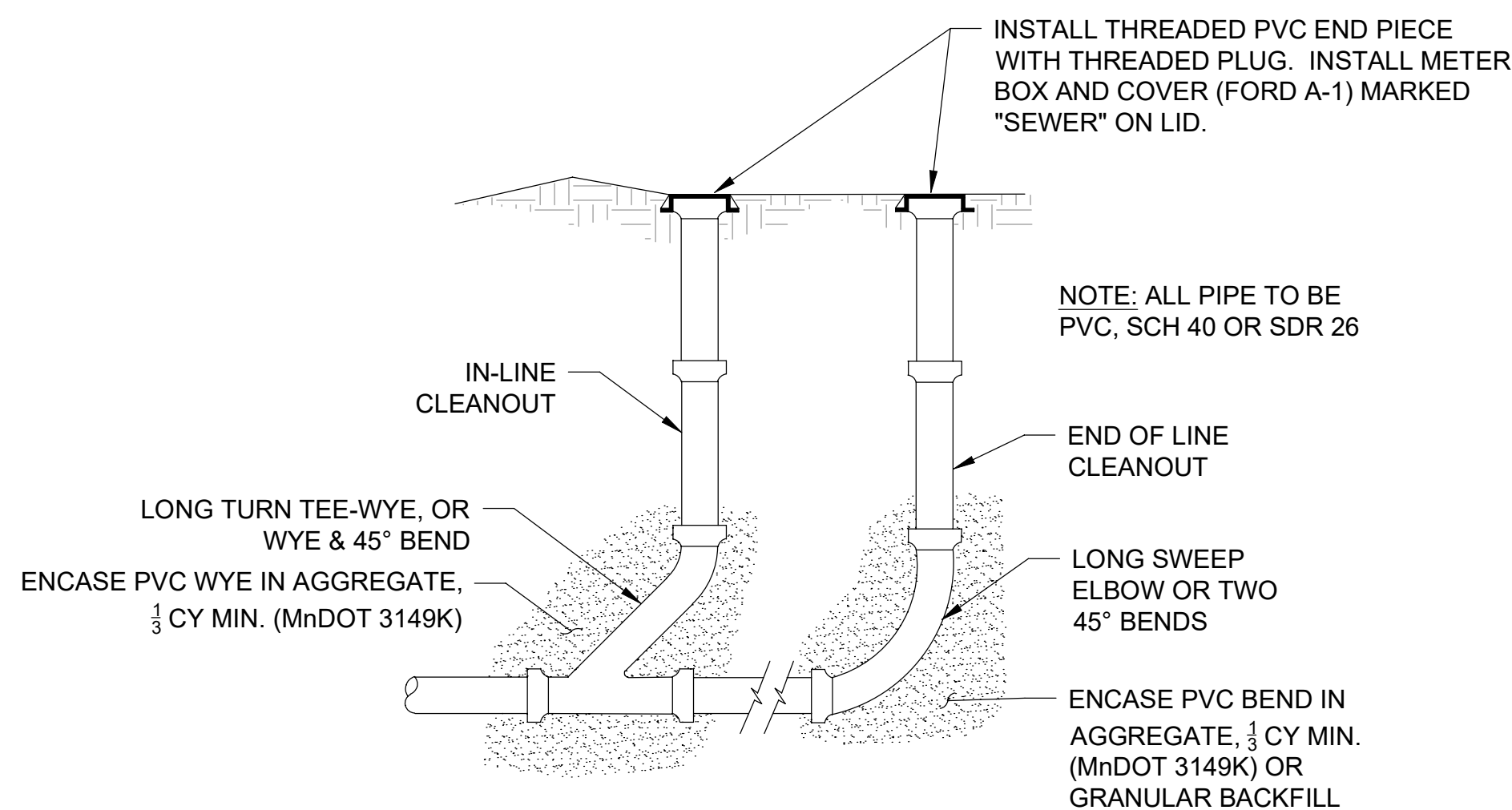
3
C71

CONCRETE PIPE TRENCH - CLASS B BEDDING



5
C71

2' X 3' CATCH BASIN



4
C71

SANITARY SEWER CLEANOUT

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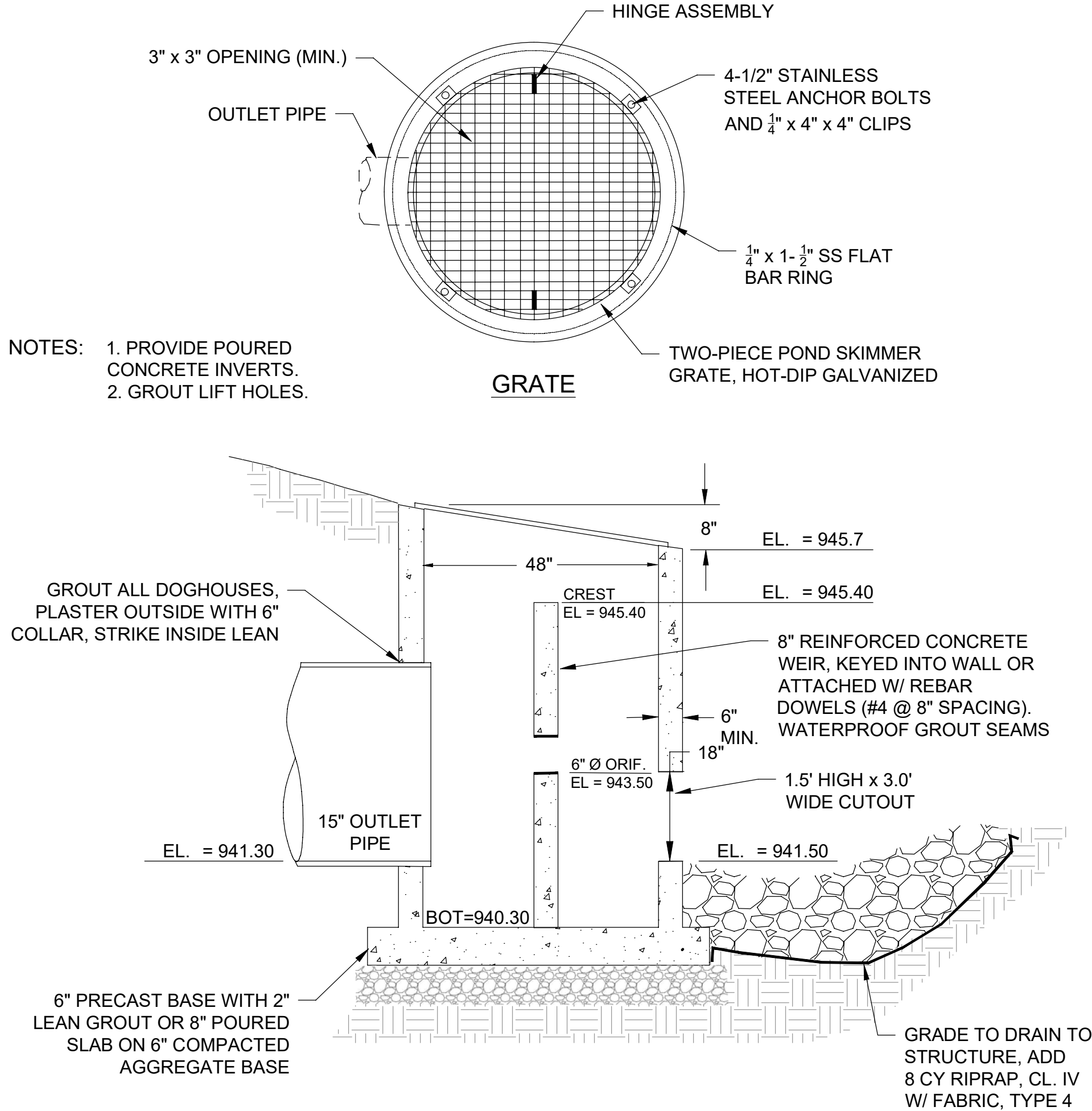
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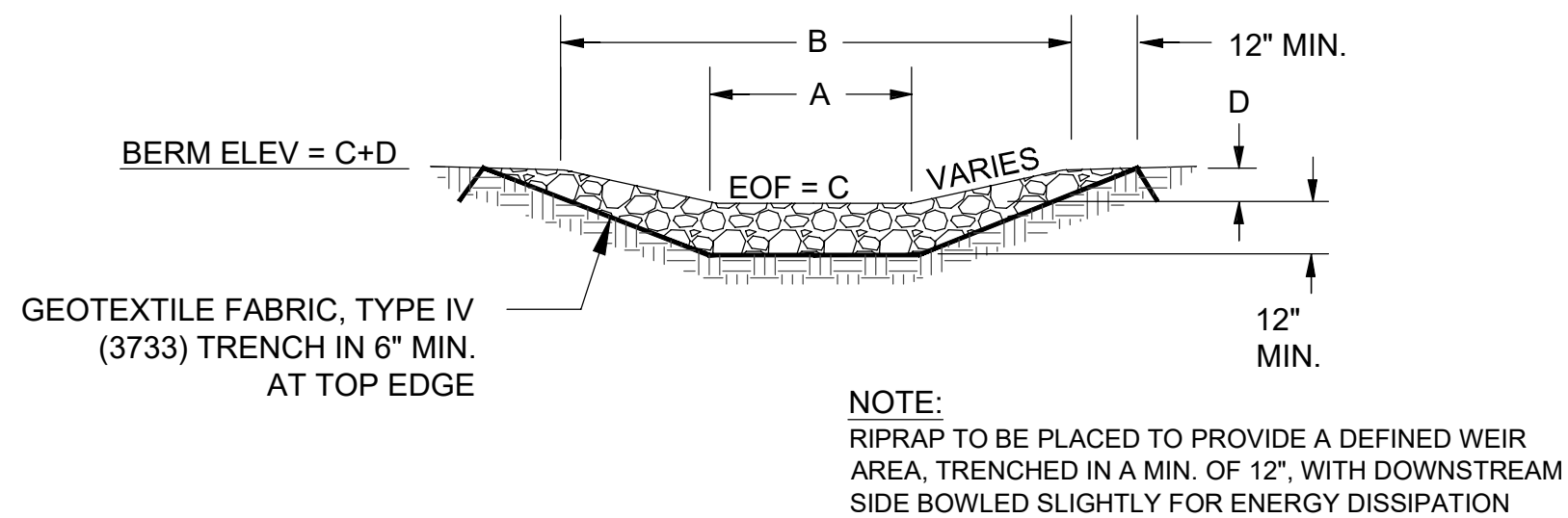
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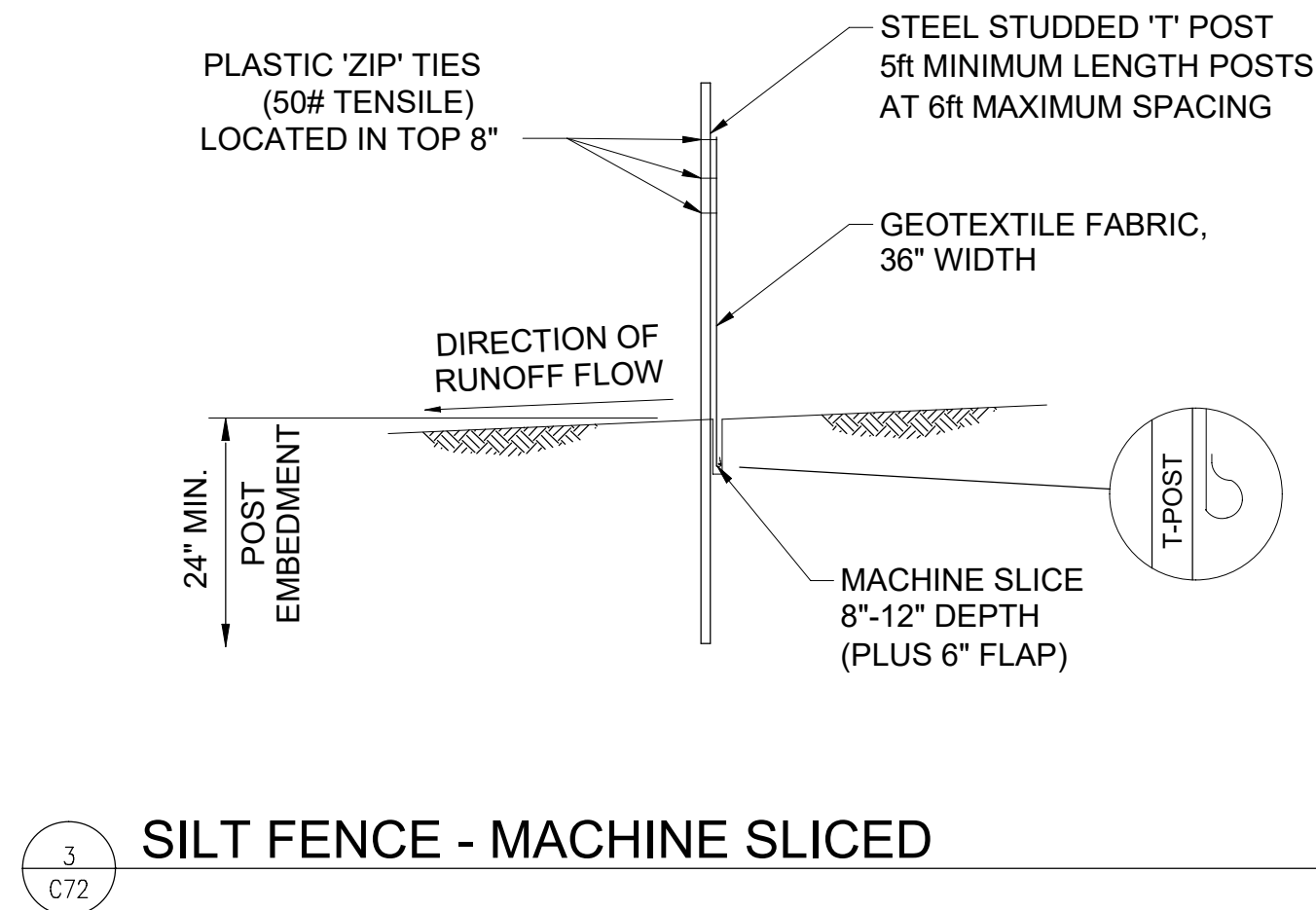


1 POND OUTLET CONTROL STRUCTURE

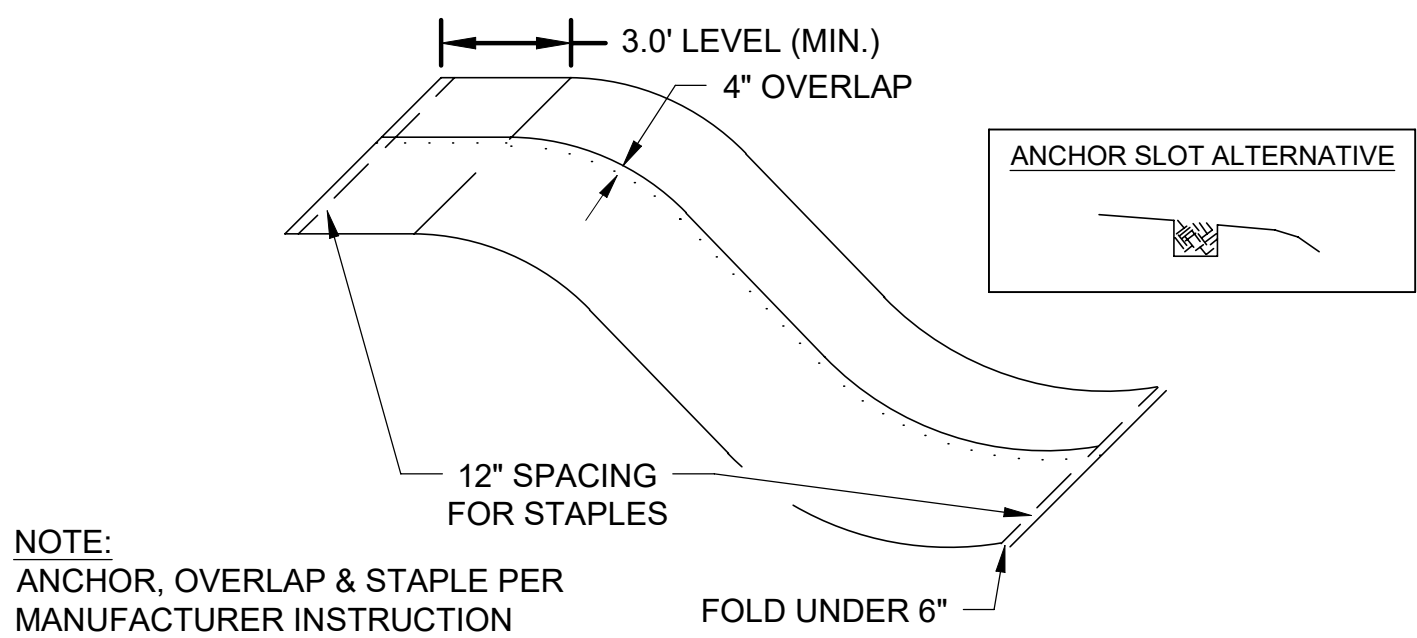
	A	B	C	D
BASIN 1	4.0'	8.0'	946.0	0.5'



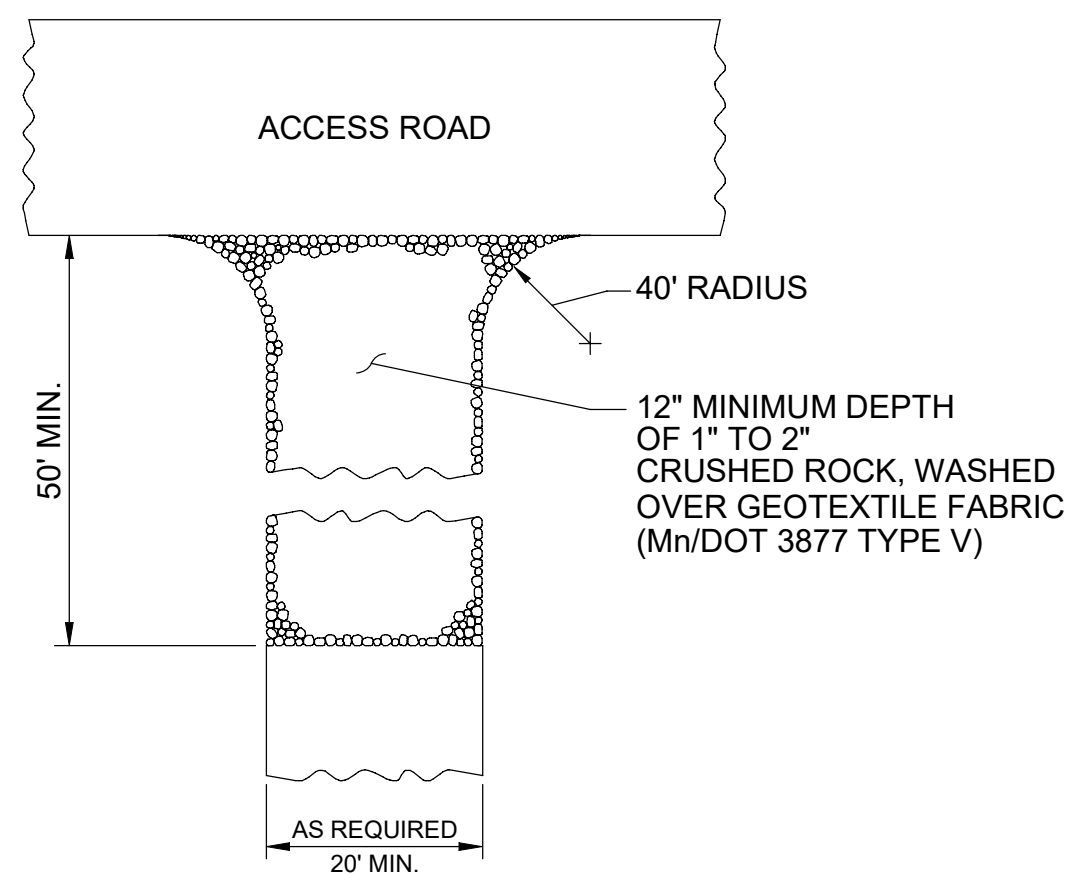
2 REINFORCED BASIN OVERFLOW



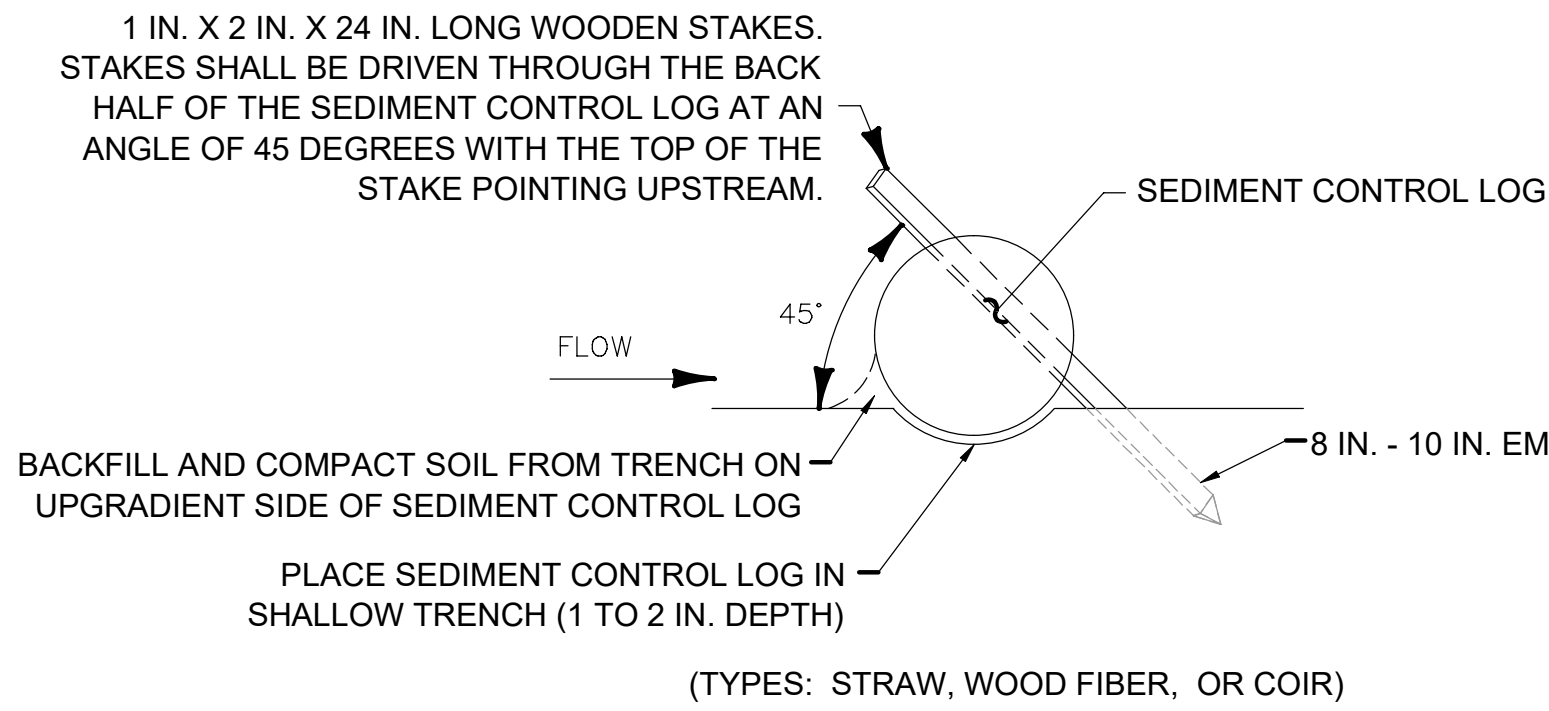
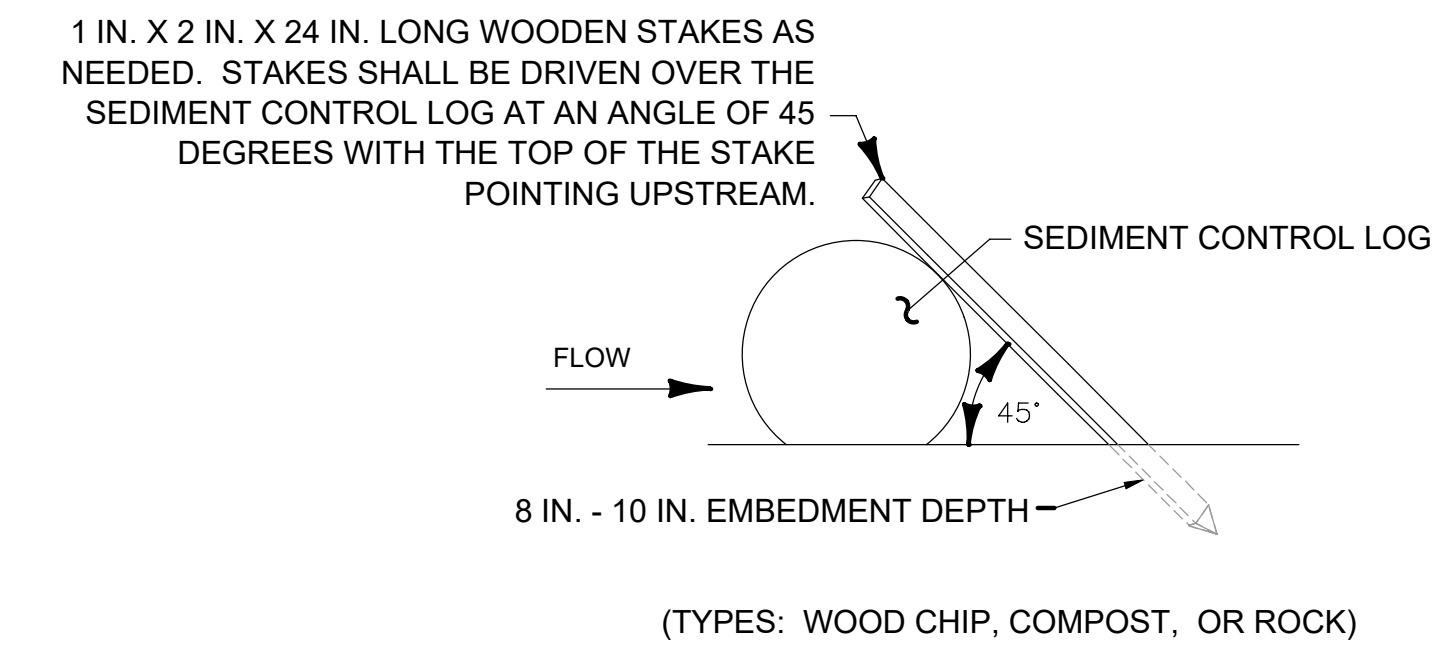
3 SILT FENCE - MACHINE SLICED



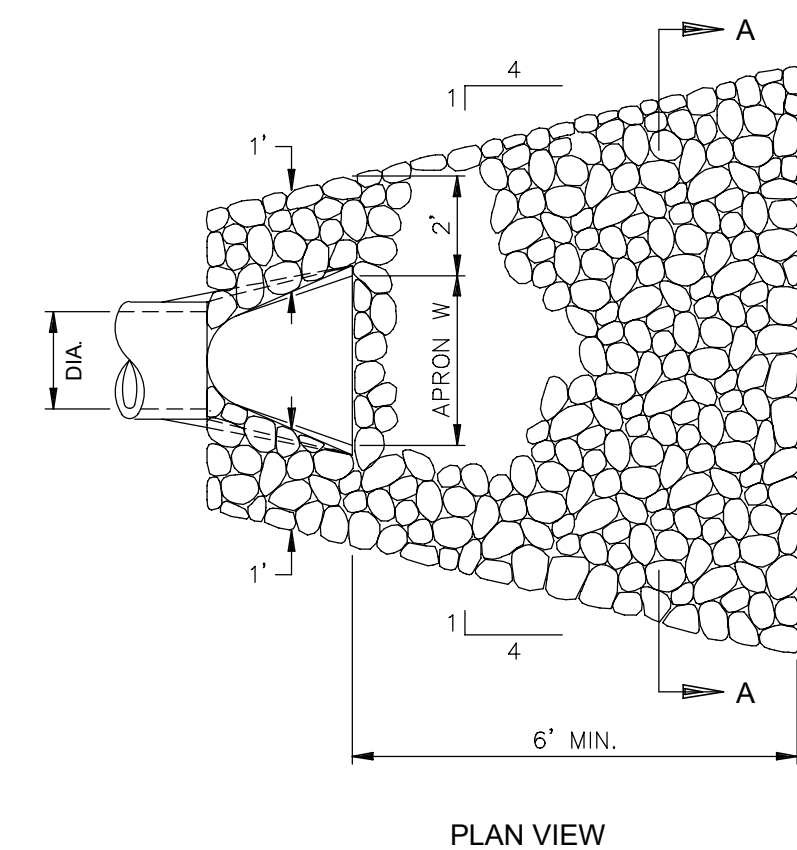
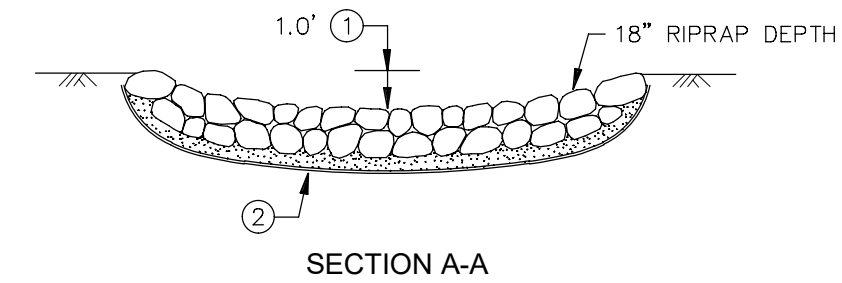
4 EROSION CONTROL BLANKET INSTALLATION



5 ROCK CONSTRUCTION ENTRANCE



6 SEDIMENT CONTROL LOGS



- NOTES:
REQUIREMENTS FOR GEOTEXTILE TYPE, RIPRAP SIZE AND THICKNESS WILL BE DESIGNATED IN THE PLANS.
- ① FOR PIPES GREATER THAN OR EQUAL TO 30". USE 1.5" PROVIDE "BOWL" FOR ENERGY DISSIPATION.
 - ② GEOTEXTILE FILTER FABRIC SHALL COVER THE BOTTOM AND SIDES OF THE AREA EXCAVATED FOR THE RIPRAP

7 RIPRAP AT FLARED END SECTION

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DAVID M POGGI
DATE: 11-04-2019
LIC. NO.: 44573

DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION

OWNER:

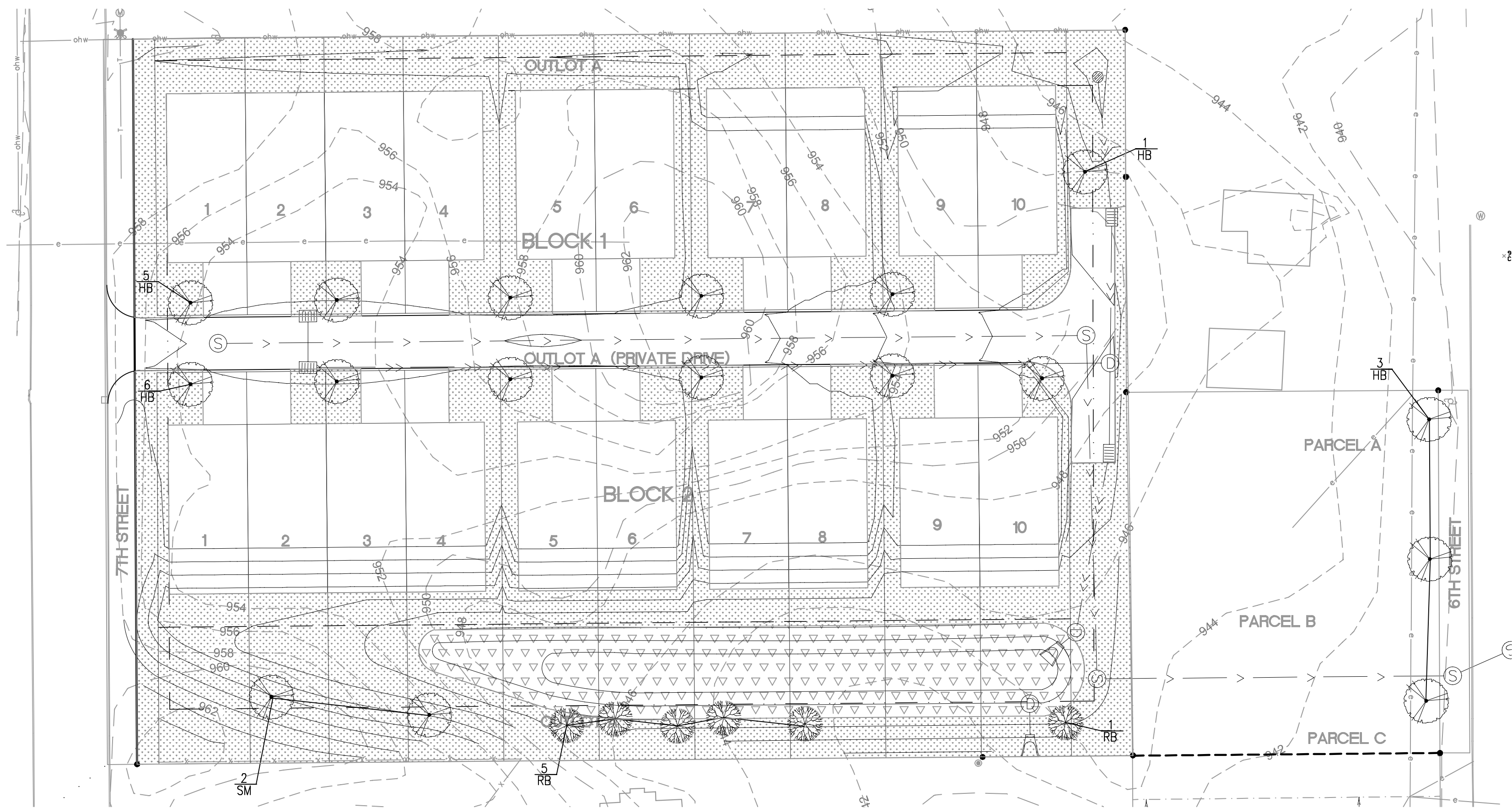
ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE:

DETAILS
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

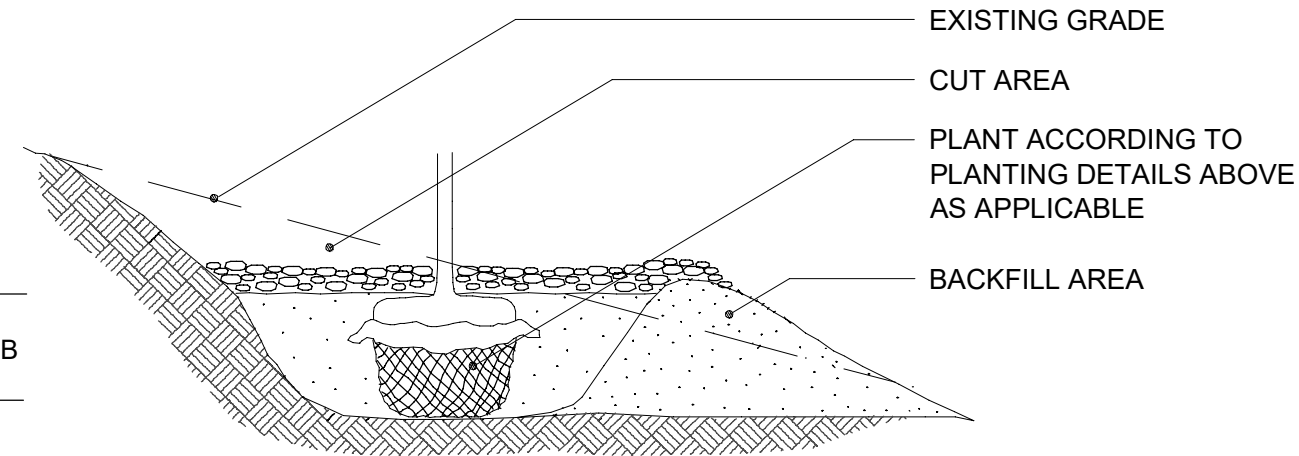
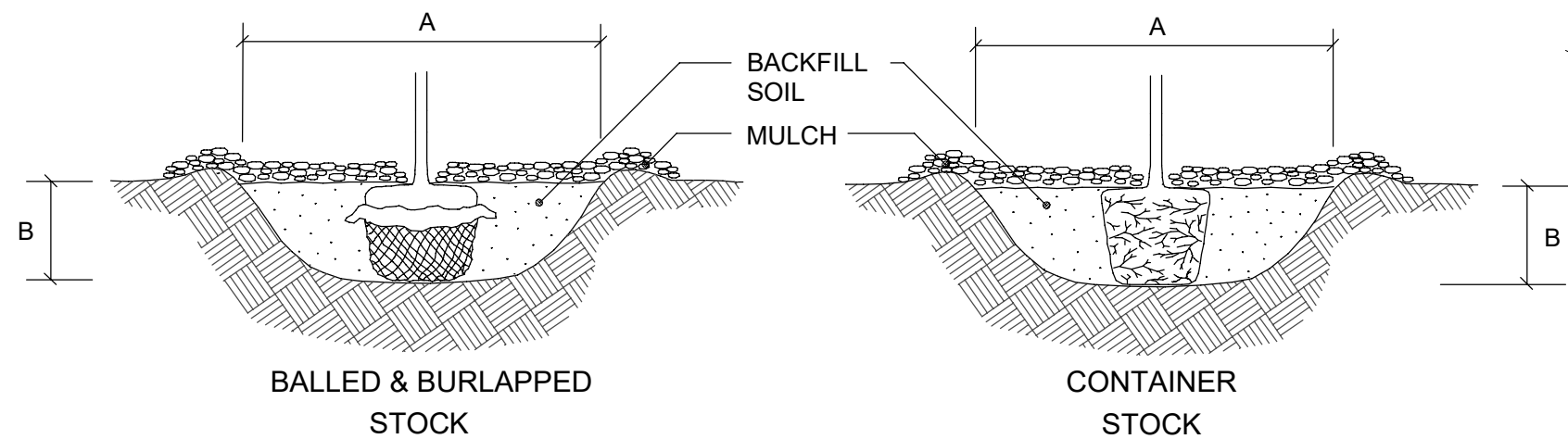
SHEET NO:

C72



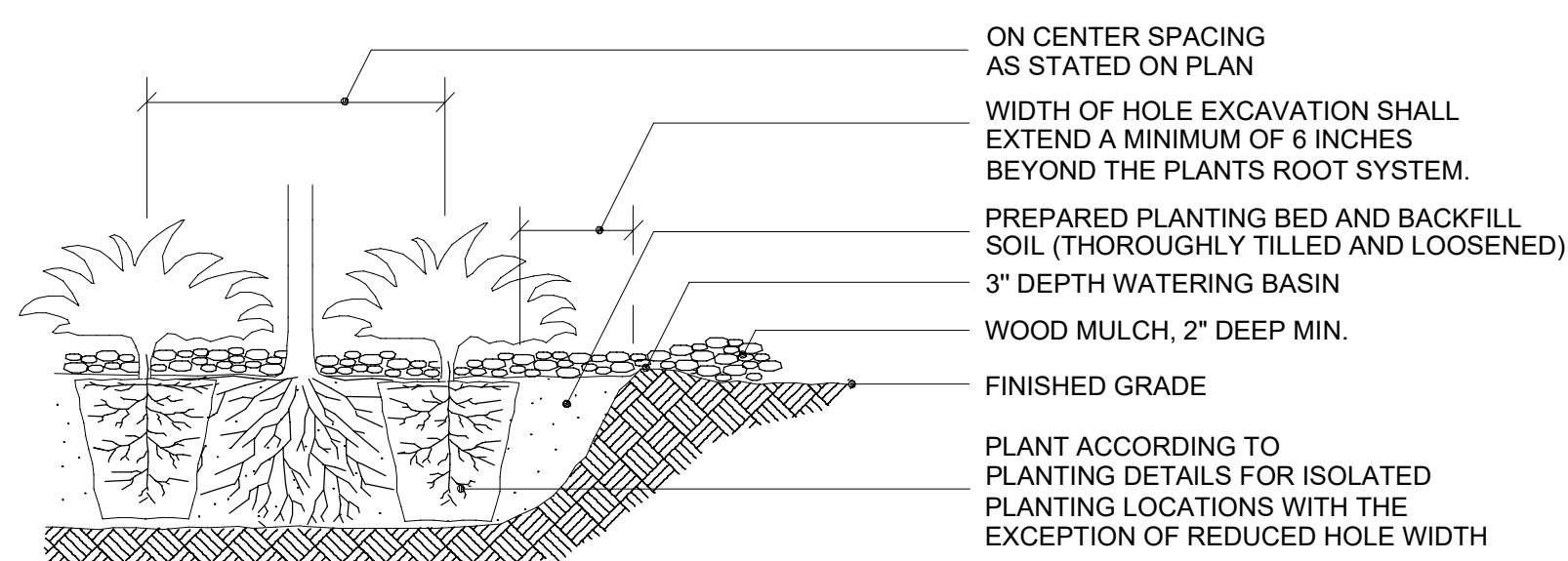
NOTES:

- ALL TREES SHALL BE 2.5" CALIPER AND SHRUBS SHALL BE #5, MINIMUM, UPON INSTALLATION.
- TREES AND SHRUBS SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER INSTALLATION. DEAD OR DISEASED PLANTS WITHIN THIS PERIOD SHALL BE REPLACED AT CONTRACTOR EXPENSE.
- THE PLANTING DETAILS REPRESENT ADEQUATELY DRAINED SOIL CONDITIONS. THE CONTRACTOR SHOULD EXERCISE DISCRETION IN SETTING PLANTS 1"-3" HIGHER IN POORLY DRAINED SOILS.
- ON 2:1 SLOPES OR GREATER, DO NOT CONSTRUCT THE UPHILL HALF OF THE WATERING BASIN.
- ON WET, POORLY DRAINED SOILS, DO NOT CONSTRUCT WATERING BASIN.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE IN HEAVY POORLY DRAINED OR IMPERVIOUS SOILS.
- PLANTS SHOULD BE SET AT THE PROPER DEPTH WHEREBY THE BEGINNING TAPER OF THE ROOT FLARE IS AT THE SAME ELEVATION AS THE FINISHED SOIL GRADE. THIS SHOULD BE THE SAME DEPTH AS THE PLANTS WERE GROWN AT IN THE NURSERY. NOTE THAT THE ROOTS OF BALLED AND BURLAPPED PLANTS ARE UNACCEPTABLE WHEN THEY ARE COVERED BY MORE THAN 4" OF SOIL IN THE TOP OF THE BALL.
- DELAY MULCH PLACEMENT IF NECESSARY TO ALLOW MORE TIME FOR EXCESS SOIL MOISTURE TO EVAPORATE FROM PLANTING AREAS BEFORE PLACING MULCH.
- ALL OTHER AREAS TO BE SEEDED OR SOD PER EROSION CONTROL PLAN.



- NOTE:
- EXTENDED EXCAVATION AND BACKFILL SOIL TO A POINT DOWNSLOPE EQUAL TO OR LOWER IN ELEVATION THAN THE BOTTOM OF THE HOLE DIRECTLY BENEATH THE PLANT TO INSURE ADEQUATE DRAINAGE IN HEAVY SOILS. GRANULAR SOIL MUST BE ADDED AS BACKFILL IN AREAS OF POOR DRAINAGE.

FOR STEEP SLOPES



MASS PLANTING BEDS

LANDSCAPING SUMMARY:

ZONE: R-1 / R-2

R-1: 1 TREE PER PARCEL

REQUIRED: 3 LOTS = 3 TREES

PROVIDED: 3 TREES

R-2: 1 TREE PER UNIT

REQUIRED: 20 UNITS = 20 TREES

PROVIDED: 20 TREES

TOTAL:

REQUIRED: 23 TREES

PROVIDED: 23 TREES

PLANT SCHEDULE

TREES					
KEY	QTY	COMMON NAME	BOTANICAL NAME	ROOT	CAL/SIZE
SM	2	Sienna Glen Maple	Acer freemanii 'Sienna Glen'	B&B	2.5"
HB	15	Hackberry	Celtis occidentalis	B&B	2.5"
RB	6	River Birch	Betula Nigra	B&B	2.5"

BALLED & BURLAPPED STOCK

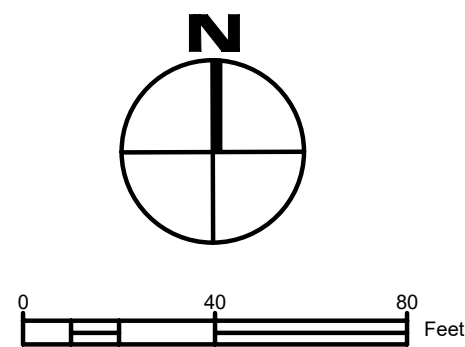
- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
- SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
- PLANT SHALL BE PLACED IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, IF USED, INTACT. ONCE IN PLACE, THE PLANT SHALL BE BACKFILLED TO WITHIN 12" OF THE TOP OF THE ROOTBALL AND WATERED. THE TOP LOOPS OF THE WIRE BASKETS SHALL BE REMOVED AND THE BURLAP SHALL BE FOLDED OR CUT BACK.
- PLUMB AND BACKFILL WITH THE BACKFILL SOIL SPECIFIED.
- APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
- WATER THOROUGHLY WITHIN 2 HOURS.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
- BIODEGRADABLE TWINE MAY BE LEFT ON AS SUPPORT BETWEEN THE ROOT BALL AND ROOT COLLAR UNTIL THE END OF THE PLANT ESTABLISHMENT PERIOD AT WHICH TIME IT MUST BE CUT AND TOTALLY REMOVED FROM THE ROOT COLLAR, THE TWINE MUST BE TIED OR RETIED TO MID-LEVEL LOOPS OR POINTS ON THE BASKET. USE OF NONBIODEGRADABLE TWINE SHALL NOT BE PERMITTED.

CONTAINER STOCK

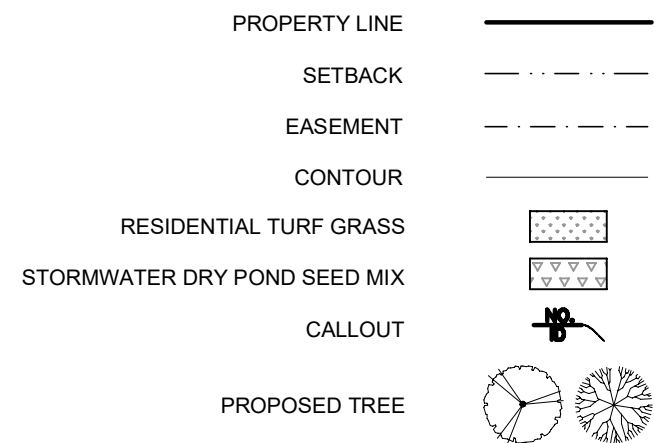
- SCARIFY SIDES AND BOTTOM OF HOLE.
- PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
- REMOVE CONTAINER AND SCORE OR PRUNE OUTSIDE OF SOIL MASS TO REDIRECT CIRCLING FIBROUS ROOTS AS NECESSARY.
- SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
- APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
- WATER THOROUGHLY WITHIN 2 HOURS.
- PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.



Know what's below.
Call before you dig.



LEGEND:



PLANTING HOLE DIMENSIONS
(MINIMUM WIDTH DOES NOT APPLY IN MASS PLANTING BEDS)

PLANT TYPE	PLANT SIZE (UP TO AND INCLUDING)	MINIMUM HOLE WIDTH (INCHES)	APPROXIMATE HOLE DEPTH (INCHES)
		A	B
CONIFEROUS TREES	3' B.B.	42	11
	4' B.B.	51	13
	5' B.B.	60	13
	6' B.B.	66	15
	7' B.B.	72	16
	8' B.B.	81	18
CONTAINER GROWN PLANTS	9' B.B.	90	20
	10' B.B.	102	21
	#1 cont.	18	6
	#2 cont.	23	7.5
	#3 cont.	29	8.5
	#5 cont.	30	11
NOTE: AT LEAST 2/3 OF ALL CONIFER BRANCHES WILL CONTAIN TERMINAL BUDS	#7 cont.	37	11
	#10 cont.	44	14
	#15 cont.	45	15
	#20 cont.	60	17
	#25 cont.	72	16

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DESIGNED: DMP
DRAWN: DMP
CHECKED: KEB

DATE: 11-04-2019
DAVID M POGGI
LIC. NO.: 44573

DATE / REVISION:
11-04-2019 Preliminary Plat Review Set. NOT FOR CONSTRUCTION
11-05-2019 Preliminary RWMWD Review Set. NOT FOR CONSTRUCTION

OWNER:

ANDRUS BUILT, LLC
2440 CHARLES STREET N, #210
NORTH ST. PAUL, MN 55109

TITLE:

LANDSCAPING
7TH STREET TOWNHOMES
2242 7TH STREET, NORTH ST. PAUL, MN

SHEET NO:

L01

11/12/2019

Re: Proposed 7TH STREET TOWNHOME development

To whom it may concern:

Site is heavily wooded comprised mainly with low value softwood trees, such as cottonwoods. Below, per county GIS website, illustrates tree cover:



Site to be mass graded and all trees, except those outside of grading extents, to be razed.

STORMWATER MANAGEMENT PLAN

7th STREET TOWNHOMES
NORTH ST. PAUL, MN

NOVEMBER 1, 2019

CMI No: 0538

PREPARED FOR:

Andrus Built, LLC.
North St. Paul, MN

PREPARED BY:

Civil Methods, Inc.
1551 Livingston Avenue, Ste. 104
West St. Paul, MN 55118

ENGINEER CERTIFICATION:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Name: David Poggi, PE

Signed: 

Date: 11-01-2019

Registration: MN No. 44573

Table of Contents

1.	INTRODUCTION	1
2.	SITE DESCRIPTION	1
3.	STORMWATER QUANTITY & QUALITY	2
3.1	VOLUME CONTROL & WATER QUALITY.....	2
3.2	RATE CONTROL.....	3

APPENDIX A – SOIL INFORMATION

APPENDIX B – DRAINAGE DIAGRAMS

APPENDIX C – SUBCATCHMENT DATA

APPENDIX D – HYDROCAD OUTPUT

1. INTRODUCTION

The 7th Street Townhomes project is proposed to be built at the 3.53 acre residential parcel located at 2242 7th Street in North St. Paul, MN. The project will include site grading for a new private drive and townhome construction, as well as the necessary utility and stormwater management infrastructure.

In addition, the 0.63 acre residential property located at 2231 6th Street will be subdivided into three single family lots. That minor subdivision project is also included as part of this report.

The combination development will disturb approximately 4.0 acres and will construct approximately 1.74 acres of impervious surface. The project is required to meet the permanent stormwater management requirements of the City of North St. Paul, the Ramsey Washington Metro Watershed District (RWMWD) and the MPCA's NPDES Permit for Construction

The specific requirements addressed herein include:

- 1) Rate control: Existing flow rates must not be exceeded for the 2-year, 10-year and 100-year, Atlas-14 rainfall events.
- 2) Volume reduction of 1.1" of runoff from the site's new and reconstructed impervious area, provided the site is not restricted.
- 3) Biofiltration practices receive 55% volume credit.
- 4) Contributing impervious drainage area can contribute up to 2.5" of volume.
- 5) Alternative treatment methods are required when the site is restricted.
- 6) Infiltration / filtration practices must draw down within 48 hours.
- 7) Provide 2.0' of freeboard from basin HWL to new structure LFE.
- 8) Minimum of 3.0' of separation from bottom of infiltration practice and seasonal high groundwater table.

2. SITE DESCRIPTION

The existing properties are single family residential with mature trees, grasses and minimal hard surface associated with the homes and driveways. Public soil mapping information indicates the area consists of moderately permeable sandy loams of Hydrologic Soil Group (HSG) Type B (Appendix A).

In the existing condition, stormwater runoff from the property is split to the northeast and south (Figure 1, Appendix B), with all runoff ultimately draining to 6th Street. Runoff to the south drains to an existing wet retention (and wetland) basin on the adjacent property. The

basin was evaluated for use as part of the proposed stormwater management system; however, that option was determined to be unfeasible due to site limitations.

In the post-construction condition, storm sewer will collect runoff from nearly the entire townhome development for conveyance to a new infiltration basin along the southern property boundary (Figure 1, Appendix B). While drainage patterns will remain generally unchanged, the new buildings and pavements will increase impervious area at the project properties by 1.63 acres (subcatchment summary information included in Appendix C).

The proposed infiltration basin is designed to meet the City's water quality and quantity standards.

3. STORMWATER QUANTITY & QUALITY

3.1 VOLUME CONTROL & WATER QUALITY

The required infiltration volume of 1.1" from the site's new and reconstructed impervious area will be achieved with a single infiltration basin. The proposed basin as designed will function with the anticipated Type B soils, though the actual infiltration capacity will need to be verified. Existing topsoil will be removed and the basin bottom will be scarified prior to being planted with water-tolerant vegetation.

The following volume calculations are provided:

Volume Control Calculation:

$$1.1" \times \text{Impervious Area} = 1.1 \times 1/12 \times 75,750 \text{ sq. ft.} = 6,944 \text{ cu. ft.}$$

$$\text{Total Volume Required} = 6,944 \text{ cu.ft.}$$

$$\text{Total Volume Provided} = 10,312 \text{ cu.ft. (volume below basin outlet elevation)}$$

The provided infiltration volume is stored between the bottom elevation (942.0) and the outlet elevation (943.5). The depth of the basin to the outflow elevation is limited to 1.5' to ensure adequate drawdown within 48 hrs, though it could be a bit deeper with an assumed infiltration rate of 0.45 in/hr. Adequate drawdown will be visually verified after basin construction.

Pretreatment will be provided in the form of a sumped manhole with a turbulence-reducing baffle (Preserver or equal). The manhole will provide a maintainable space for sediment accumulation and be accessible for periodic vacuuming.

3.2 RATE CONTROL

The configuration and outlet works associated with the proposed basin will control the stormwater discharge rate from the majority of the project site. The remaining area at the east end (consisting of the single family residences) will drain directly offsite to 6th Street as the property does currently; this area is factored into the H&H calculations.

The basin outlet structure will include a weir wall with a controlling orifice and overflow grate, as reflected in the modeling and shown in the project plans. As designed, the basin will mitigate the increased runoff flow rates associated with the new construction.

The existing and proposed site conditions have been modeled with the HydroCAD modeling software using the TR-20 methodology and Atlas 14 rainfall amounts for Ramsey County. Reach nodes are included to reflect key property discharge points, including the townhome area to the south (1R), the townhome area to the northeast (2R) and the cumulative discharge from the property (3R). Model results are shown in Table 1, with detailed model output included in Appendix D.

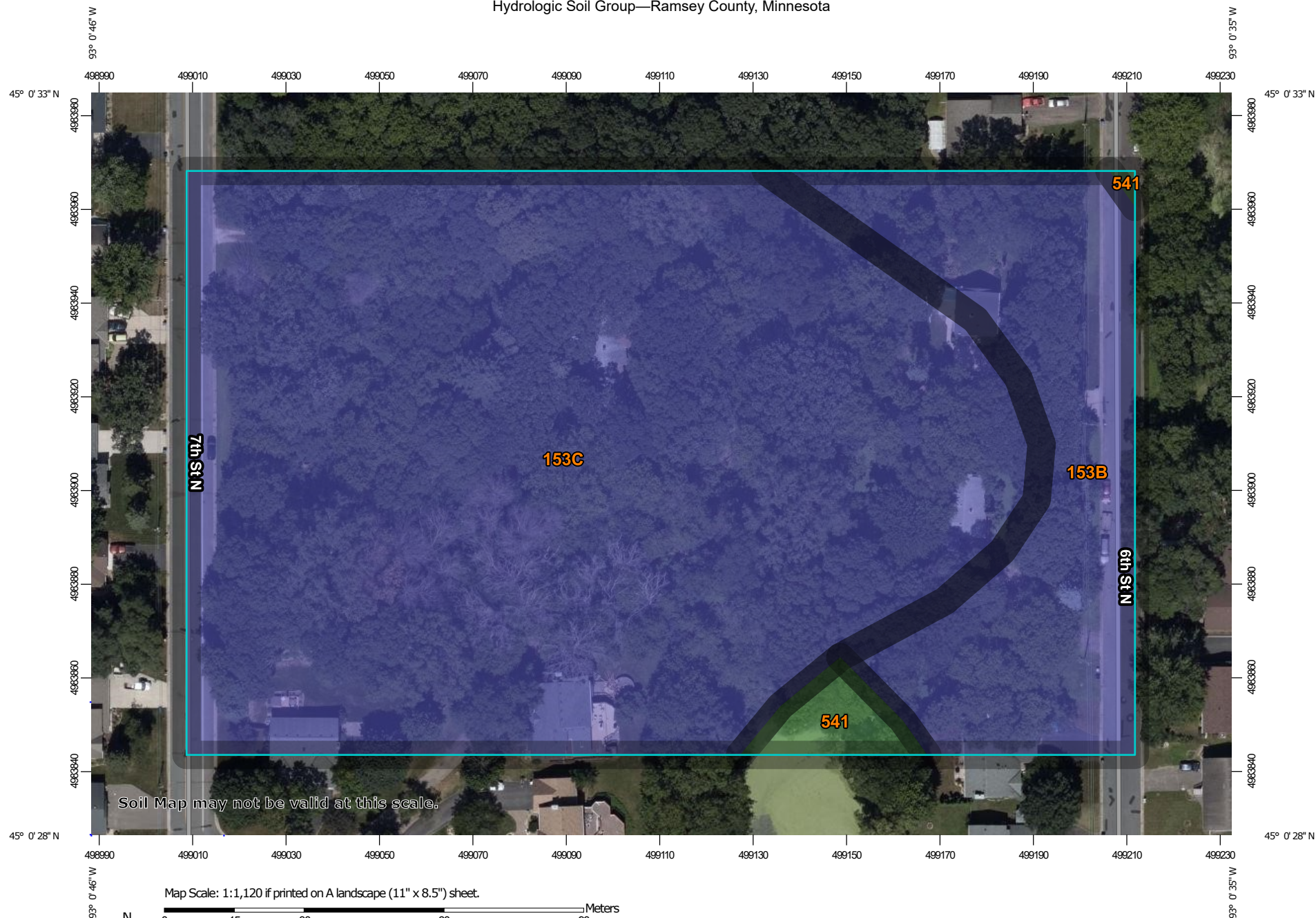
Table 1: Flow Rate Comparison

Node, ID	2-Year, 2.81"		10-Year, 4.19"		100-Year, 7.36"	
	Existing (cfs)	Proposed (cfs)	Existing (cfs)	Proposed (cfs)	Existing (cfs)	Proposed (cfs)
1R	0.2	0.0	1.3	0.7	6.1	5.6
2R	0.1	0.0	0.5	0.0	2.3	0.0
3R	0.3	0.1	2.1	0.9	10.2	6.9

As indicated in the table, stormwater discharge rates from the project site are adequately mitigated in the post-construction scenario.

Appendix A – Soil Information

Hydrologic Soil Group—Ramsey County, Minnesota



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

69 of 150
Page 1 of 4

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

Soil Rating Polygons

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines

 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points

 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Ramsey County, Minnesota
 Survey Area Data: Version 14, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 8, 2019—Aug 9, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
153B	Santiago silt loam, 2 to 6 percent slopes	B	1.3	20.0%
153C	Santiago silt loam, 6 to 15 percent slopes	B	4.9	78.1%
541	Rifle muck	A/D	0.1	1.9%
Totals for Area of Interest			6.3	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

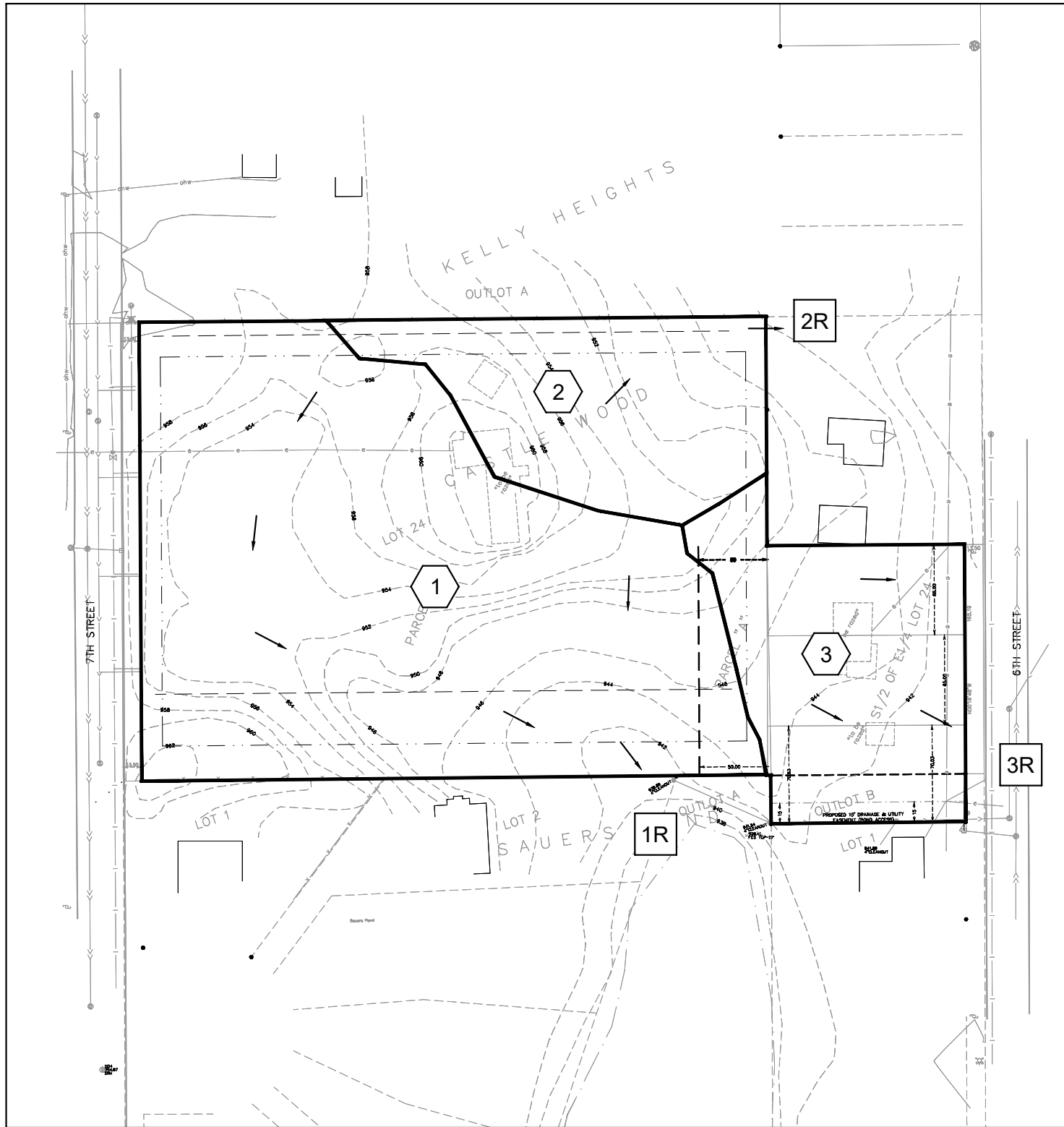
Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

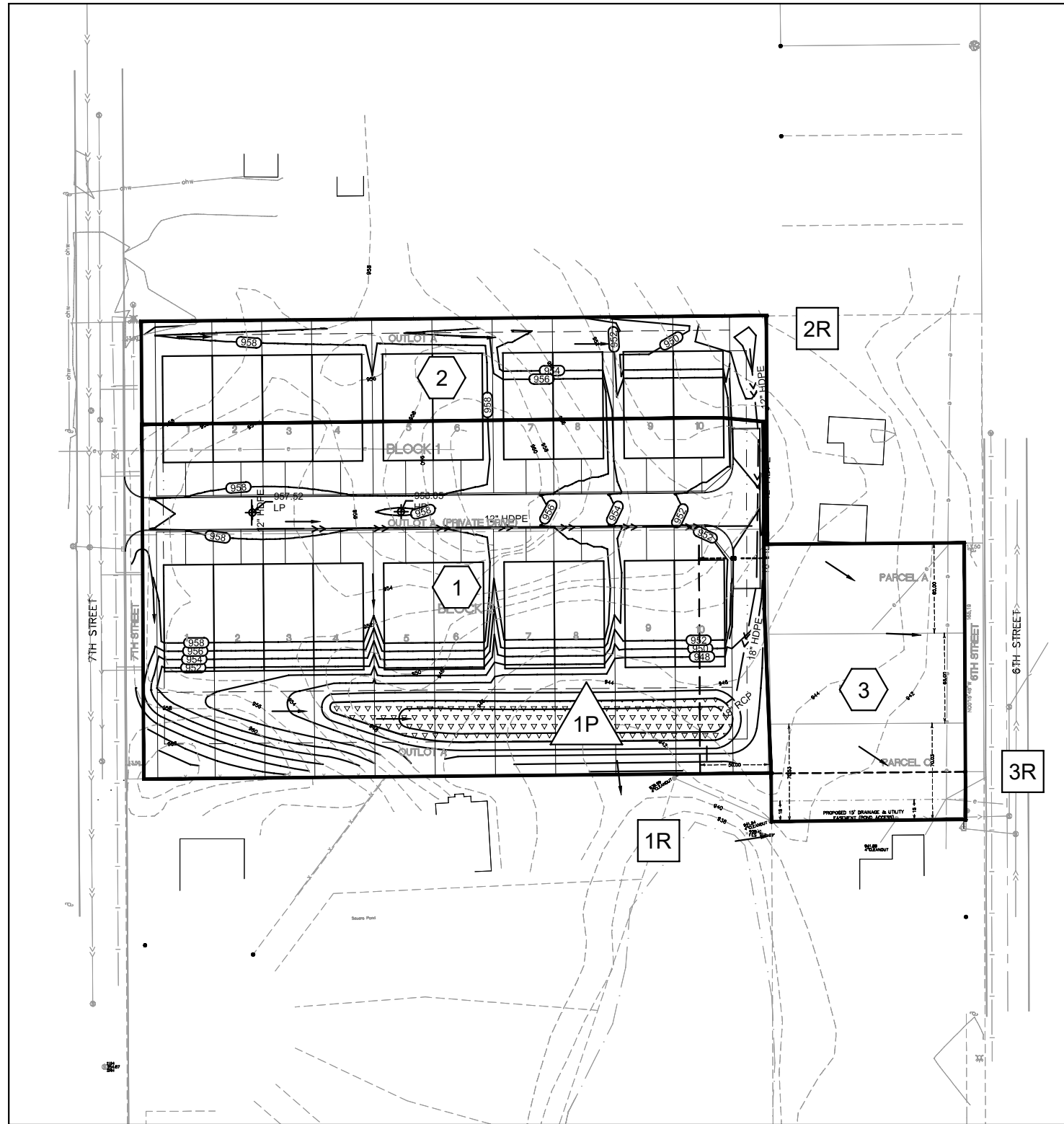
Tie-break Rule: Higher

Appendix B – Drainage Diagrams

Print Date: 11/4/2019 2:44 PM
File Loc: C:\CIVIL\Methods - Inc\CM - Documents\7 Projects\0530 - North St Paul Residential\08 - Drawings and Specifications\03\Drawings\0530_WR.dwg



EXISTING CONDITION



PROPOSED CONDITION

LEGEND:



SUBCATCHMENT NODE ID



BASIN NODE ID



REACH NODE ID



SUBCATCHMENT DELINEATION



DRAINAGE DIRECTION



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OWNER:
ANDRUS BUILT, LLC
NORTH ST. PAUL

TITLE:
DRAINAGE DIAGRAM
7TH STREET TOWNHOMES
NORTH ST. PAUL, MN

74 of 156

SHEET NO:
FIG1

Appendix C – Subcatchment Data

Hydrology Parameter Summary

Project: 7th Street Townhomes

Date: 10/28/2019

Location: North St Paul

Watershed: Ramsey Washington Metro WD

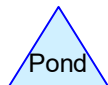
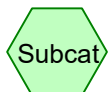
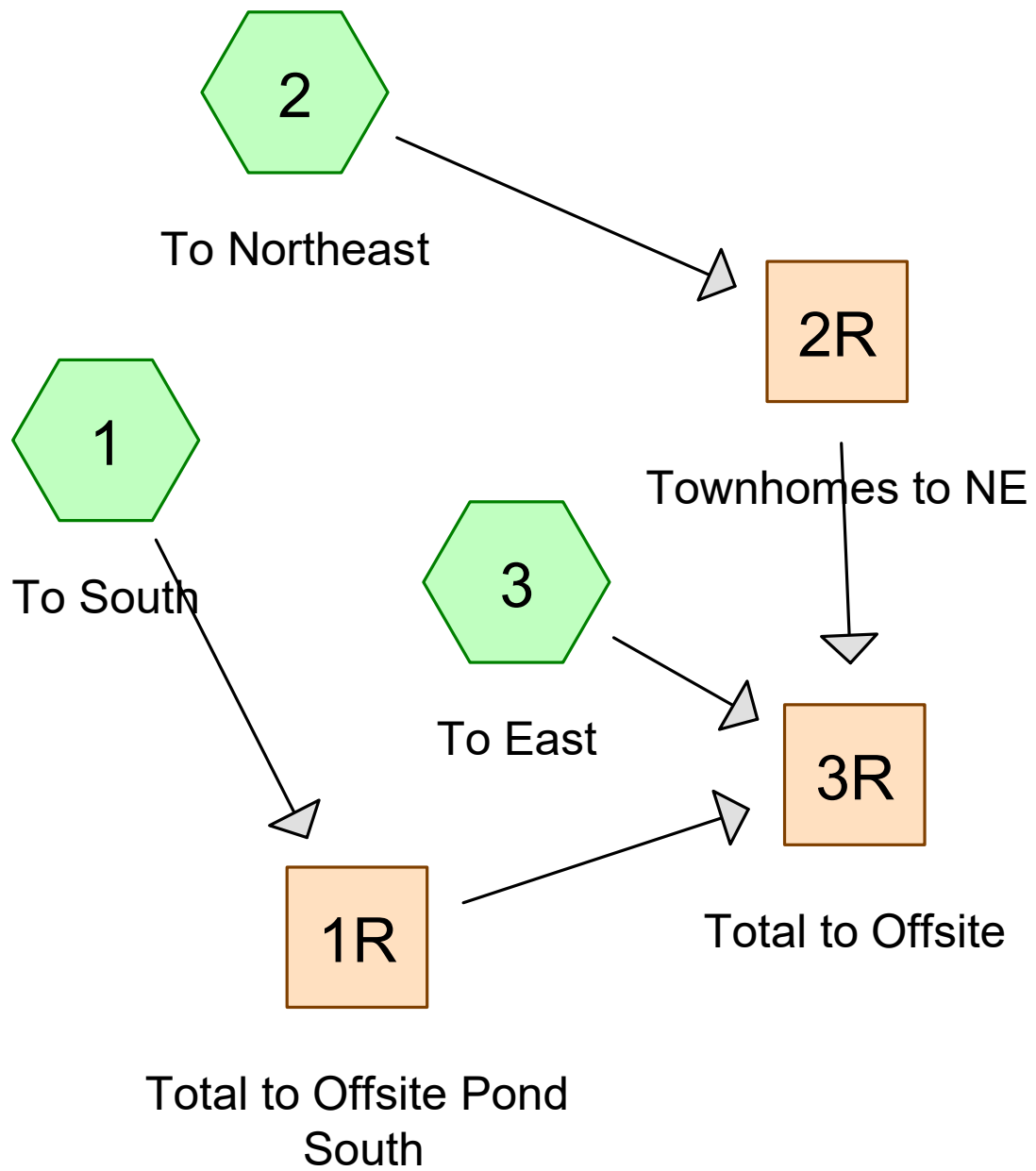
EXISTING CONDITIONS

Area / Region ID	Total (sq ft)	Total (acre)	Imperv. (sq ft)	Imperv. (acre)	Imperv. (%)	Perv 1 (sq ft)	Perv 1 (acre)	Perv 1 CN	Perv 2 (sq ft)	Perv 2 (acre)	Perv 2 CN	Perv 3 (sq ft)	Perv 3 (acre)	Perv 3 CN
1	111718	2.565	1398	0.032	1.3%	110320	2.533	55		0.000			0.000	
2	31387	0.721	1296	0.030	4.1%	30091	0.691	55		0.000			0.000	
3	34432	0.790	1868	0.043	5.4%	32564	0.748	55		0.000				
Total:	177537	4.076	4562	0.105		172975	3.971		0	0				

PROPOSED CONDITIONS

Area / Region ID	Total (sq ft)	Total (acre)	Imperv. (sq ft)	Imperv. (acre)	Imperv. (%)	Perv 1 (sq ft)	Perv 1 (acre)	Perv 1 CN	Perv 2 (sq ft)	Perv 2 (acre)	Perv 2 CN	Perv 3 (sq ft)	Perv 3 (acre)	Perv 3 CN
1	115444	2.650	53075	1.218	46.0%	62369	1.432	61		0.000	58		0.000	
2	33525	0.770	12175	0.279	36.3%	21350	0.490	61		0.000	58		0.000	
3	28568	0.656	10500	0.241	36.8%		0.000	61		0.000	58			
		0.000		0.000	#DIV/0!		0.000	61		0.000	58			
		0.000		0.000	#DIV/0!		0.000	61		0.000	58			
TOTAL:	177537	4.076	75750	1.739		83719	1.922		0	0				

Appendix D – HydroCAD Output



Routing Diagram for 191028_7thStTH_EX
 Prepared by Civil Methods, Inc., Printed 11/4/2019
 HydroCAD® 10.00-24 s/n 07283 © 2018 HydroCAD Software Solutions LLC

Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South

Runoff Area=2.565 ac 1.25% Impervious Runoff Depth=0.17"
Flow Length=530' Tc=24.1 min CN=56 Runoff=0.17 cfs 0.036 af

Subcatchment 2: To Northeast

Runoff Area=0.721 ac 4.16% Impervious Runoff Depth=0.19"
Flow Length=165' Tc=15.8 min CN=57 Runoff=0.07 cfs 0.012 af

Subcatchment 3: To East

Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=0.19"
Flow Length=211' Tc=15.4 min CN=57 Runoff=0.08 cfs 0.013 af

Reach 1R: Total to Offsite Pond South

Inflow=0.17 cfs 0.036 af
Outflow=0.17 cfs 0.036 af

Reach 2R: Townhomes to NE

Inflow=0.07 cfs 0.012 af
Outflow=0.07 cfs 0.012 af

Reach 3R: Total to Offsite

Inflow=0.30 cfs 0.060 af
Outflow=0.30 cfs 0.060 af

Total Runoff Area = 4.077 ac Runoff Volume = 0.060 af Average Runoff Depth = 0.18"
97.42% Pervious = 3.972 ac 2.58% Impervious = 0.105 ac

Summary for Subcatchment 1: To South

Runoff = 0.17 cfs @ 12.61 hrs, Volume= 0.036 af, Depth= 0.17"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 0.032	98	
2.533	55	Woods, Good, HSG B
2.565	56	Weighted Average
2.533	55	98.75% Pervious Area
0.032	98	1.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
5.0	165	0.0120	0.55		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.3	265	0.0420	1.02		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.1	530	Total			

Summary for Subcatchment 2: To Northeast

Runoff = 0.07 cfs @ 12.43 hrs, Volume= 0.012 af, Depth= 0.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 0.030	98	
0.691	55	Woods, Good, HSG B
0.721	57	Weighted Average
0.691	55	95.84% Pervious Area
0.030	98	4.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.0	65	0.0460	1.07		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.8	165	Total			

Summary for Subcatchment 3: To East

Runoff = 0.08 cfs @ 12.43 hrs, Volume= 0.013 af, Depth= 0.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow,
					Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow,
					Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: Total to Offsite Pond South

Inflow Area = 2.565 ac, 1.25% Impervious, Inflow Depth = 0.17" for 2-Year event
Inflow = 0.17 cfs @ 12.61 hrs, Volume= 0.036 af
Outflow = 0.17 cfs @ 12.61 hrs, Volume= 0.036 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 2R: Townhomes to NE

Inflow Area = 0.721 ac, 4.16% Impervious, Inflow Depth = 0.19" for 2-Year event
Inflow = 0.07 cfs @ 12.43 hrs, Volume= 0.012 af
Outflow = 0.07 cfs @ 12.43 hrs, Volume= 0.012 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total to Offsite

Inflow Area = 4.077 ac, 2.58% Impervious, Inflow Depth = 0.18" for 2-Year event
Inflow = 0.30 cfs @ 12.54 hrs, Volume= 0.060 af
Outflow = 0.30 cfs @ 12.54 hrs, Volume= 0.060 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South

Runoff Area=2.565 ac 1.25% Impervious Runoff Depth=0.65"
Flow Length=530' Tc=24.1 min CN=56 Runoff=1.27 cfs 0.140 af

Subcatchment 2: To Northeast

Runoff Area=0.721 ac 4.16% Impervious Runoff Depth=0.70"
Flow Length=165' Tc=15.8 min CN=57 Runoff=0.50 cfs 0.042 af

Subcatchment 3: To East

Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=0.70"
Flow Length=211' Tc=15.4 min CN=57 Runoff=0.55 cfs 0.046 af

Reach 1R: Total to Offsite Pond South

Inflow=1.27 cfs 0.140 af
Outflow=1.27 cfs 0.140 af

Reach 2R: Townhomes to NE

Inflow=0.50 cfs 0.042 af
Outflow=0.50 cfs 0.042 af

Reach 3R: Total to Offsite

Inflow=2.13 cfs 0.228 af
Outflow=2.13 cfs 0.228 af

Total Runoff Area = 4.077 ac Runoff Volume = 0.228 af Average Runoff Depth = 0.67"
97.42% Pervious = 3.972 ac 2.58% Impervious = 0.105 ac

Summary for Subcatchment 1: To South

Runoff = 1.27 cfs @ 12.42 hrs, Volume= 0.140 af, Depth= 0.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 0.032	98	
2.533	55	Woods, Good, HSG B
2.565	56	Weighted Average
2.533	55	98.75% Pervious Area
0.032	98	1.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
5.0	165	0.0120	0.55		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.3	265	0.0420	1.02		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.1	530	Total			

Summary for Subcatchment 2: To Northeast

Runoff = 0.50 cfs @ 12.29 hrs, Volume= 0.042 af, Depth= 0.70"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 0.030	98	
0.691	55	Woods, Good, HSG B
0.721	57	Weighted Average
0.691	55	95.84% Pervious Area
0.030	98	4.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.0	65	0.0460	1.07		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.8	165	Total			

Summary for Subcatchment 3: To East

Runoff = 0.55 cfs @ 12.28 hrs, Volume= 0.046 af, Depth= 0.70"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: Total to Offsite Pond South

Inflow Area = 2.565 ac, 1.25% Impervious, Inflow Depth = 0.65" for 10-Year event
Inflow = 1.27 cfs @ 12.42 hrs, Volume= 0.140 af
Outflow = 1.27 cfs @ 12.42 hrs, Volume= 0.140 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 2R: Townhomes to NE

Inflow Area = 0.721 ac, 4.16% Impervious, Inflow Depth = 0.70" for 10-Year event
Inflow = 0.50 cfs @ 12.29 hrs, Volume= 0.042 af
Outflow = 0.50 cfs @ 12.29 hrs, Volume= 0.042 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total to Offsite

Inflow Area = 4.077 ac, 2.58% Impervious, Inflow Depth = 0.67" for 10-Year event
Inflow = 2.13 cfs @ 12.35 hrs, Volume= 0.228 af
Outflow = 2.13 cfs @ 12.35 hrs, Volume= 0.228 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South

Runoff Area=2.565 ac 1.25% Impervious Runoff Depth=2.46"
Flow Length=530' Tc=24.1 min CN=56 Runoff=6.11 cfs 0.525 af

Subcatchment 2: To Northeast

Runoff Area=0.721 ac 4.16% Impervious Runoff Depth=2.56"
Flow Length=165' Tc=15.8 min CN=57 Runoff=2.25 cfs 0.154 af

Subcatchment 3: To East

Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=2.56"
Flow Length=211' Tc=15.4 min CN=57 Runoff=2.50 cfs 0.168 af

Reach 1R: Total to Offsite Pond South

Inflow=6.11 cfs 0.525 af
Outflow=6.11 cfs 0.525 af

Reach 2R: Townhomes to NE

Inflow=2.25 cfs 0.154 af
Outflow=2.25 cfs 0.154 af

Reach 3R: Total to Offsite

Inflow=10.18 cfs 0.847 af
Outflow=10.18 cfs 0.847 af

Total Runoff Area = 4.077 ac Runoff Volume = 0.847 af Average Runoff Depth = 2.49"
97.42% Pervious = 3.972 ac 2.58% Impervious = 0.105 ac

Summary for Subcatchment 1: To South

Runoff = 6.11 cfs @ 12.37 hrs, Volume= 0.525 af, Depth= 2.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 0.032	98	
2.533	55	Woods, Good, HSG B
2.565	56	Weighted Average
2.533	55	98.75% Pervious Area
0.032	98	1.25% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
5.0	165	0.0120	0.55		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
4.3	265	0.0420	1.02		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.1	530	Total			

Summary for Subcatchment 2: To Northeast

Runoff = 2.25 cfs @ 12.26 hrs, Volume= 0.154 af, Depth= 2.56"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 0.030	98	
0.691	55	Woods, Good, HSG B
0.721	57	Weighted Average
0.691	55	95.84% Pervious Area
0.030	98	4.16% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
14.8	100	0.0600	0.11		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.0	65	0.0460	1.07		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.8	165	Total			

Summary for Subcatchment 3: To East

Runoff = 2.50 cfs @ 12.25 hrs, Volume= 0.168 af, Depth= 2.56"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: Total to Offsite Pond South

Inflow Area = 2.565 ac, 1.25% Impervious, Inflow Depth = 2.46" for 100-Year event
Inflow = 6.11 cfs @ 12.37 hrs, Volume= 0.525 af
Outflow = 6.11 cfs @ 12.37 hrs, Volume= 0.525 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 2R: Townhomes to NE

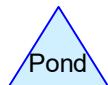
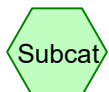
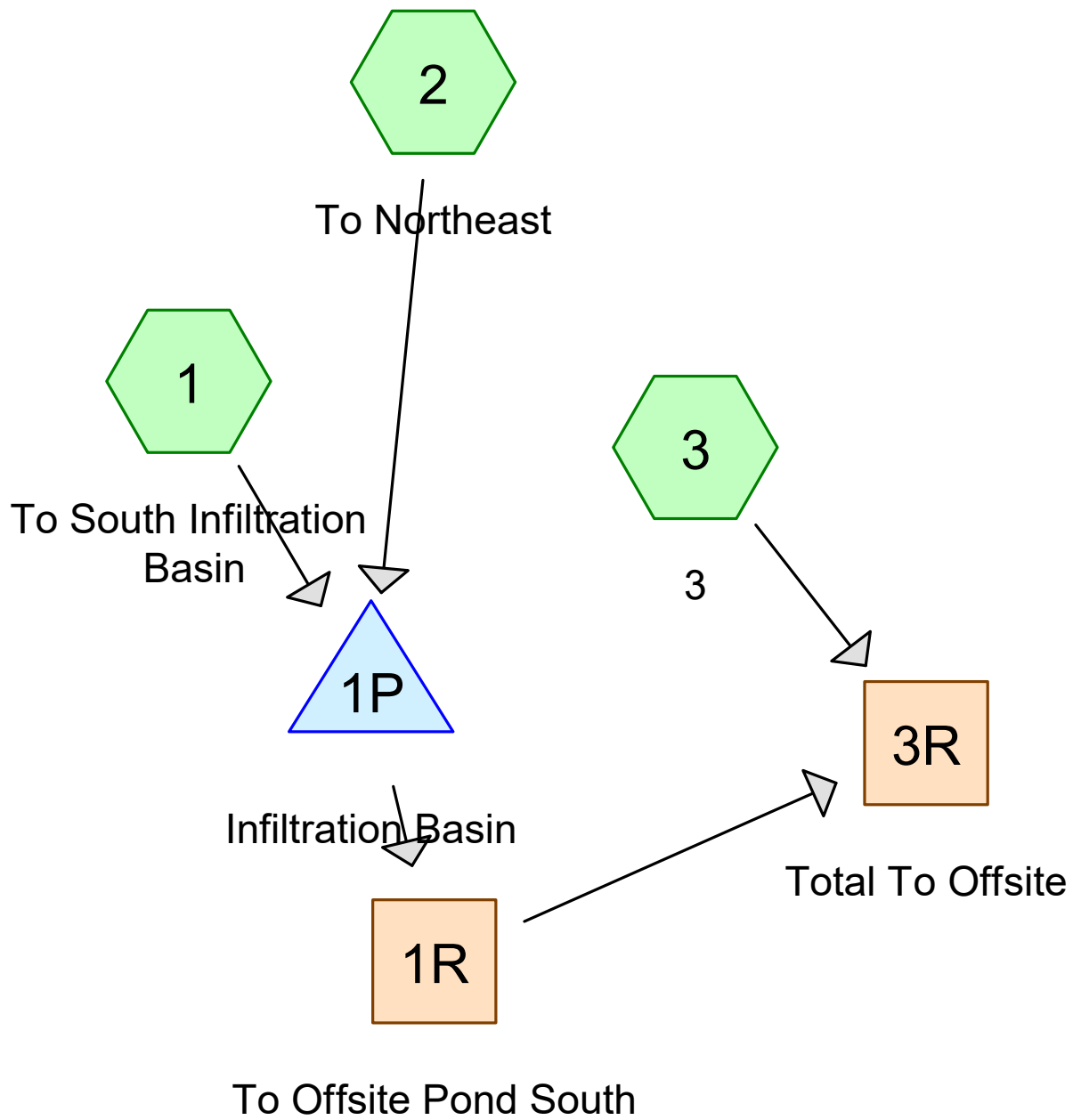
Inflow Area = 0.721 ac, 4.16% Impervious, Inflow Depth = 2.56" for 100-Year event
Inflow = 2.25 cfs @ 12.26 hrs, Volume= 0.154 af
Outflow = 2.25 cfs @ 12.26 hrs, Volume= 0.154 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total to Offsite

Inflow Area = 4.077 ac, 2.58% Impervious, Inflow Depth = 2.49" for 100-Year event
Inflow = 10.18 cfs @ 12.31 hrs, Volume= 0.847 af
Outflow = 10.18 cfs @ 12.31 hrs, Volume= 0.847 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs



Routing Diagram for 191028_7thStTH_PR
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Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South Infiltration Basin Runoff Area=2.650 ac 45.96% Impervious Runoff Depth=1.00"
Tc=10.0 min CN=78 Runoff=4.04 cfs 0.220 af

Subcatchment 2: To Northeast Runoff Area=0.769 ac 36.28% Impervious Runoff Depth=0.65"
Tc=10.0 min CN=71 Runoff=0.71 cfs 0.042 af

Subcatchment 3: 3 Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=0.19"
Flow Length=211' Tc=15.4 min CN=57 Runoff=0.08 cfs 0.013 af

Reach 1R: To Offsite Pond South Inflow=0.01 cfs 0.004 af
Outflow=0.01 cfs 0.004 af

Reach 3R: Total To Offsite Inflow=0.08 cfs 0.016 af
Outflow=0.08 cfs 0.016 af

Pond 1P: Infiltration Basin Peak Elev=943.56' Storage=8,573 cf Inflow=4.75 cfs 0.262 af
Discarded=0.07 cfs 0.258 af Primary=0.01 cfs 0.004 af Outflow=0.08 cfs 0.262 af

Total Runoff Area = 4.210 ac Runoff Volume = 0.274 af Average Runoff Depth = 0.78"
63.42% Pervious = 2.670 ac 36.58% Impervious = 1.540 ac

Summary for Subcatchment 1: To South Infiltration Basin

Runoff = 4.04 cfs @ 12.18 hrs, Volume= 0.220 af, Depth= 1.00"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 1.218	98	
1.432	61	>75% Grass cover, Good, HSG B
2.650	78	Weighted Average
1.432	61	54.04% Pervious Area
1.218	98	45.96% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 2: To Northeast

Runoff = 0.71 cfs @ 12.19 hrs, Volume= 0.042 af, Depth= 0.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 0.279	98	
0.490	55	Woods, Good, HSG B
0.769	71	Weighted Average
0.490	55	63.72% Pervious Area
0.279	98	36.28% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 3: 3

Runoff = 0.08 cfs @ 12.43 hrs, Volume= 0.013 af, Depth= 0.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 2-Year Rainfall=2.81"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: To Offsite Pond South

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 0.01" for 2-Year event
 Inflow = 0.01 cfs @ 18.78 hrs, Volume= 0.004 af
 Outflow = 0.01 cfs @ 18.78 hrs, Volume= 0.004 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total To Offsite

Inflow Area = 4.210 ac, 36.58% Impervious, Inflow Depth = 0.05" for 2-Year event
 Inflow = 0.08 cfs @ 12.43 hrs, Volume= 0.016 af
 Outflow = 0.08 cfs @ 12.43 hrs, Volume= 0.016 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Pond 1P: Infiltration Basin

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 0.92" for 2-Year event
 Inflow = 4.75 cfs @ 12.18 hrs, Volume= 0.262 af
 Outflow = 0.08 cfs @ 18.78 hrs, Volume= 0.262 af, Atten= 98%, Lag= 395.6 min
 Discarded = 0.07 cfs @ 18.78 hrs, Volume= 0.258 af
 Primary = 0.01 cfs @ 18.78 hrs, Volume= 0.004 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Peak Elev= 943.56' @ 18.78 hrs Surf.Area= 6,917 sf Storage= 8,573 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)

Center-of-Mass det. time= 1,279.5 min (2,110.6 - 831.1)

Volume	Invert	Avail.Storage	Storage Description
#1	942.00'	54,500 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
942.00	4,100	0	0
944.00	7,720	11,820	11,820
946.00	11,480	19,200	31,020
948.00	12,000	23,480	54,500

Device	Routing	Invert	Outlet Devices
#1	Primary	941.30'	15.0" Round Culvert L= 30.0' Ke= 0.500 Inlet / Outlet Invert= 941.30' / 941.00' S= 0.0100 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	943.50'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	945.40'	4.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)
#4	Discarded	942.00'	0.450 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.07 cfs @ 18.78 hrs HW=943.56' (Free Discharge)

↑ **4=Exfiltration** (Exfiltration Controls 0.07 cfs)

Primary OutFlow Max=0.01 cfs @ 18.78 hrs HW=943.56' TW=0.00' (Dynamic Tailwater)

↑ **1=Culvert** (Passes 0.01 cfs of 7.55 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 0.01 cfs @ 0.81 fps)

↑ **3=Sharp-Crested Rectangular Weir** (Controls 0.00 cfs)

Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South Infiltration Basin Runoff Area=2.650 ac 45.96% Impervious Runoff Depth=2.04"
Tc=10.0 min CN=78 Runoff=8.42 cfs 0.450 af

Subcatchment 2: To Northeast Runoff Area=0.769 ac 36.28% Impervious Runoff Depth=1.53"
Tc=10.0 min CN=71 Runoff=1.80 cfs 0.098 af

Subcatchment 3: 3 Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=0.70"
Flow Length=211' Tc=15.4 min CN=57 Runoff=0.55 cfs 0.046 af

Reach 1R: To Offsite Pond South Inflow=0.69 cfs 0.266 af
Outflow=0.69 cfs 0.266 af

Reach 3R: Total To Offsite Inflow=0.87 cfs 0.312 af
Outflow=0.87 cfs 0.312 af

Pond 1P: Infiltration Basin Peak Elev=944.28' Storage=14,015 cf Inflow=10.22 cfs 0.548 af
Discarded=0.09 cfs 0.282 af Primary=0.69 cfs 0.266 af Outflow=0.77 cfs 0.548 af

Total Runoff Area = 4.210 ac Runoff Volume = 0.594 af Average Runoff Depth = 1.69"
63.42% Pervious = 2.670 ac 36.58% Impervious = 1.540 ac

Summary for Subcatchment 1: To South Infiltration Basin

Runoff = 8.42 cfs @ 12.18 hrs, Volume= 0.450 af, Depth= 2.04"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 1.218	98	
1.432	61	>75% Grass cover, Good, HSG B
2.650	78	Weighted Average
1.432	61	54.04% Pervious Area
1.218	98	45.96% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 2: To Northeast

Runoff = 1.80 cfs @ 12.18 hrs, Volume= 0.098 af, Depth= 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 0.279	98	
0.490	55	Woods, Good, HSG B
0.769	71	Weighted Average
0.490	55	63.72% Pervious Area
0.279	98	36.28% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 3: 3

Runoff = 0.55 cfs @ 12.28 hrs, Volume= 0.046 af, Depth= 0.70"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 10-Year Rainfall=4.19"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: To Offsite Pond South

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 0.93" for 10-Year event
 Inflow = 0.69 cfs @ 13.40 hrs, Volume= 0.266 af
 Outflow = 0.69 cfs @ 13.40 hrs, Volume= 0.266 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total To Offsite

Inflow Area = 4.210 ac, 36.58% Impervious, Inflow Depth = 0.89" for 10-Year event
 Inflow = 0.87 cfs @ 12.47 hrs, Volume= 0.312 af
 Outflow = 0.87 cfs @ 12.47 hrs, Volume= 0.312 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Pond 1P: Infiltration Basin

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 1.92" for 10-Year event
 Inflow = 10.22 cfs @ 12.18 hrs, Volume= 0.548 af
 Outflow = 0.77 cfs @ 13.40 hrs, Volume= 0.548 af, Atten= 92%, Lag= 73.1 min
 Discarded = 0.09 cfs @ 13.40 hrs, Volume= 0.282 af
 Primary = 0.69 cfs @ 13.40 hrs, Volume= 0.266 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
 Peak Elev= 944.28' @ 13.40 hrs Surf.Area= 8,237 sf Storage= 14,015 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 740.3 min (1,555.5 - 815.2)

Volume	Invert	Avail.Storage	Storage Description
#1	942.00'	54,500 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
942.00	4,100	0	0
944.00	7,720	11,820	11,820
946.00	11,480	19,200	31,020
948.00	12,000	23,480	54,500

Device	Routing	Invert	Outlet Devices
#1	Primary	941.30'	15.0" Round Culvert L= 30.0' Ke= 0.500 Inlet / Outlet Invert= 941.30' / 941.00' S= 0.0100 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	943.50'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	945.40'	4.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)
#4	Discarded	942.00'	0.450 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.09 cfs @ 13.40 hrs HW=944.28' (Free Discharge)

↑ **4=Exfiltration** (Exfiltration Controls 0.09 cfs)

Primary OutFlow Max=0.69 cfs @ 13.40 hrs HW=944.28' TW=0.00' (Dynamic Tailwater)

↑ **1=Culvert** (Passes 0.69 cfs of 9.06 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 0.69 cfs @ 3.49 fps)

↑ **3=Sharp-Crested Rectangular Weir** (Controls 0.00 cfs)

Time span=0.00-96.00 hrs, dt=0.01 hrs, 9601 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment 1: To South Infiltration Basin Runoff Area=2.650 ac 45.96% Impervious Runoff Depth=4.80"
Tc=10.0 min CN=78 Runoff=19.51 cfs 1.061 af

Subcatchment 2: To Northeast Runoff Area=0.769 ac 36.28% Impervious Runoff Depth=4.03"
Tc=10.0 min CN=71 Runoff=4.82 cfs 0.258 af

Subcatchment 3: 3 Runoff Area=0.791 ac 5.44% Impervious Runoff Depth=2.56"
Flow Length=211' Tc=15.4 min CN=57 Runoff=2.50 cfs 0.168 af

Reach 1R: To Offsite Pond South Inflow=5.64 cfs 1.004 af
Outflow=5.64 cfs 1.004 af

Reach 3R: Total To Offsite Inflow=6.93 cfs 1.172 af
Outflow=6.93 cfs 1.172 af

Pond 1P: Infiltration Basin Peak Elev=945.88' Storage=29,665 cf Inflow=24.33 cfs 1.319 af
Discarded=0.12 cfs 0.315 af Primary=5.64 cfs 1.004 af Outflow=5.75 cfs 1.319 af

Total Runoff Area = 4.210 ac Runoff Volume = 1.487 af Average Runoff Depth = 4.24"
63.42% Pervious = 2.670 ac 36.58% Impervious = 1.540 ac

Summary for Subcatchment 1: To South Infiltration Basin

Runoff = 19.51 cfs @ 12.17 hrs, Volume= 1.061 af, Depth= 4.80"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 1.218	98	
1.432	61	>75% Grass cover, Good, HSG B
2.650	78	Weighted Average
1.432	61	54.04% Pervious Area
1.218	98	45.96% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 2: To Northeast

Runoff = 4.82 cfs @ 12.18 hrs, Volume= 0.258 af, Depth= 4.03"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 0.279	98	
0.490	55	Woods, Good, HSG B
0.769	71	Weighted Average
0.490	55	63.72% Pervious Area
0.279	98	36.28% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Summary for Subcatchment 3: 3

Runoff = 2.50 cfs @ 12.25 hrs, Volume= 0.168 af, Depth= 2.56"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
MSE 24-hr 3 100-Year Rainfall=7.36"

Area (ac)	CN	Description
* 0.043	98	
0.748	55	Woods, Good, HSG B
0.791	57	Weighted Average
0.748	55	94.56% Pervious Area
0.043	98	5.44% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
13.5	100	0.0750	0.12		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.80"
1.8	111	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
15.4	211	Total			

Summary for Reach 1R: To Offsite Pond South

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 3.52" for 100-Year event
 Inflow = 5.64 cfs @ 12.50 hrs, Volume= 1.004 af
 Outflow = 5.64 cfs @ 12.50 hrs, Volume= 1.004 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Reach 3R: Total To Offsite

Inflow Area = 4.210 ac, 36.58% Impervious, Inflow Depth = 3.34" for 100-Year event
 Inflow = 6.93 cfs @ 12.45 hrs, Volume= 1.172 af
 Outflow = 6.93 cfs @ 12.45 hrs, Volume= 1.172 af, Atten= 0%, Lag= 0.0 min

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs

Summary for Pond 1P: Infiltration Basin

Inflow Area = 3.419 ac, 43.78% Impervious, Inflow Depth = 4.63" for 100-Year event
 Inflow = 24.33 cfs @ 12.17 hrs, Volume= 1.319 af
 Outflow = 5.75 cfs @ 12.50 hrs, Volume= 1.319 af, Atten= 76%, Lag= 19.3 min
 Discarded = 0.12 cfs @ 12.50 hrs, Volume= 0.315 af
 Primary = 5.64 cfs @ 12.50 hrs, Volume= 1.004 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-96.00 hrs, dt= 0.01 hrs
 Peak Elev= 945.88' @ 12.50 hrs Surf.Area= 11,256 sf Storage= 29,665 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 406.6 min (1,204.3 - 797.6)

Volume	Invert	Avail.Storage	Storage Description
#1	942.00'	54,500 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
942.00	4,100	0	0
944.00	7,720	11,820	11,820
946.00	11,480	19,200	31,020
948.00	12,000	23,480	54,500

Device	Routing	Invert	Outlet Devices
#1	Primary	941.30'	15.0" Round Culvert L= 30.0' Ke= 0.500 Inlet / Outlet Invert= 941.30' / 941.00' S= 0.0100 '/' Cc= 0.900 n= 0.013, Flow Area= 1.23 sf
#2	Device 1	943.50'	6.0" Vert. Orifice/Grate C= 0.600
#3	Device 1	945.40'	4.0' long Sharp-Crested Rectangular Weir 2 End Contraction(s)
#4	Discarded	942.00'	0.450 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.12 cfs @ 12.50 hrs HW=945.88' (Free Discharge)

↑ **4=Exfiltration** (Exfiltration Controls 0.12 cfs)

Primary OutFlow Max=5.64 cfs @ 12.50 hrs HW=945.88' TW=0.00' (Dynamic Tailwater)

↑ **1=Culvert** (Passes 5.64 cfs of 11.75 cfs potential flow)

↑ **2=Orifice/Grate** (Orifice Controls 1.38 cfs @ 7.03 fps)

↑ **3=Sharp-Crested Rectangular Weir** (Weir Controls 4.26 cfs @ 2.27 fps)



MEMORANDUM

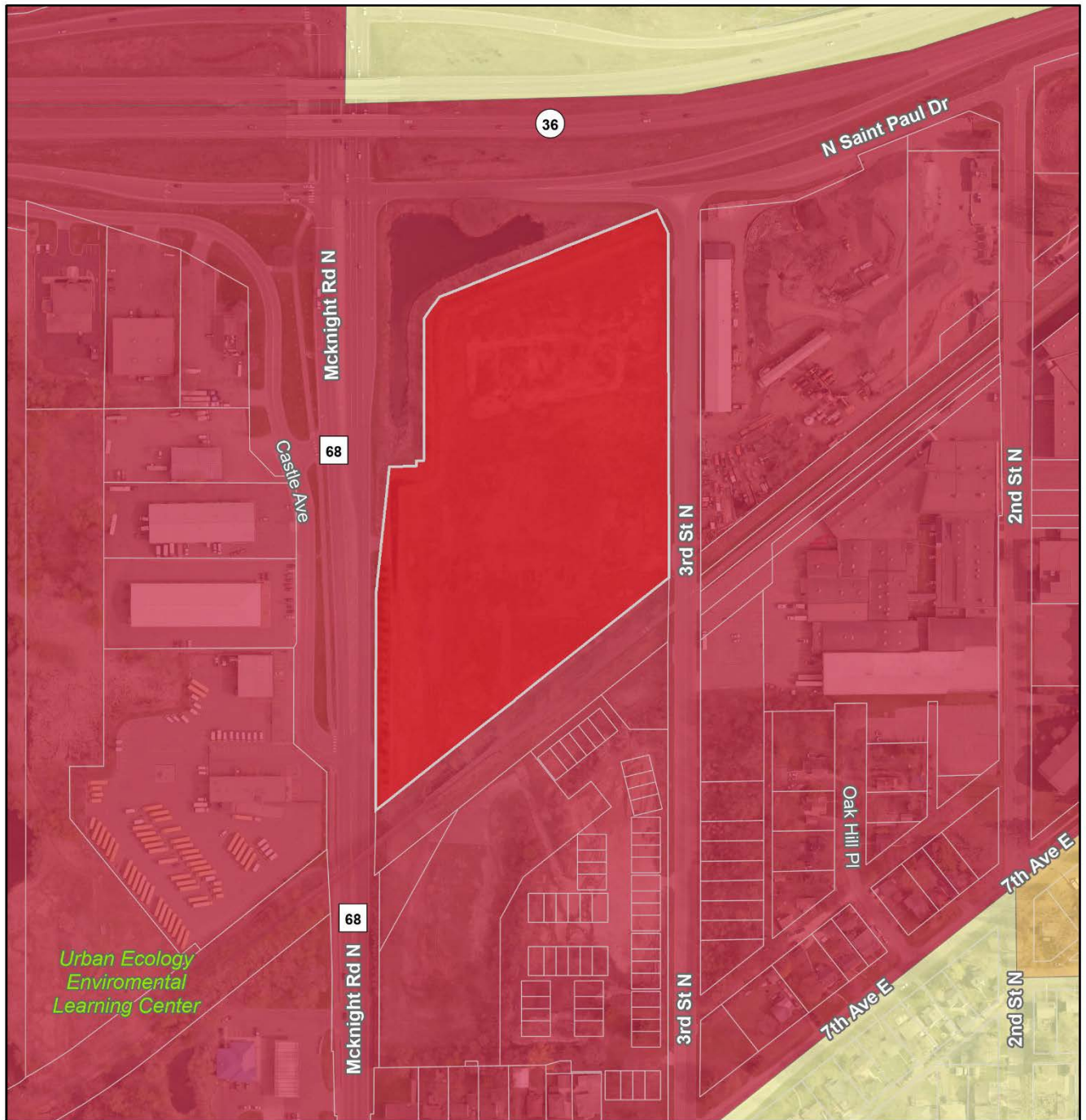
Date: 11/27/2019
To: Planning Commissioners
From: Erin Perdu, AICP, City Planner
CC: Scott Duddeck, City Manager
Debra Gustafson, Administrative and Community Services Director
Re: Anchor Block Commons Preliminary and Final Plat

BACKGROUND

The City of North St. Paul (owners of the Anchor Block North property) has submitted an application for preliminary and final plat to create three lots and dedicated right-of-way for a new public street. The plat will facilitate the redevelopment of the area for a mix of uses consistent with the comprehensive plan and the MU-3 zoning district.



Figure 1: Location Map



1 in = 376 ft



N
November 27, 2019
Map Powered By DataLink
wsb

Figure 2: Zoning Map

GENERAL STAFF REVIEW

Street, Alley and Easement Requirements

- *153.32 (A) Consideration of Plat Approval: The arrangement of streets in new subdivisions or plats shall be so laid out as to provide a continuation of existing streets of adjoining areas or the projection of east-west or north-south streets of the city if there are no adjoining streets. The width of streets in new subdivisions shall be not less than the minimum street width established herein. Offset or irregular streets are prohibited unless the topography of the area concerned makes the construction of regular streets impossible or impractical. Minor streets or those of irregular nature should approach any major street except major diagonal streets hereinafter named at an angle of between 80 degrees and 100 degrees.*
- *153.32(C) Consideration of Plat Approval: Major streets shall be 100 feet in width, except where existing conditions make a street of less width more suitable as determined by the Council. The minimum width for other streets shall be 60 feet. The subdivider may be required to provide additional land to construct a street of adequate width*
- *153.32 (D) Consideration of Plat Approval: The minimum width of an alley shall be 20 feet. Where alleys are not provided, easements of not less than ten feet in width shall be provided on each side of all rear lot lines and alongside lot lines, where necessary, for any anchors, poles, wires, conduits, sewers, pipes or mains for any public utility. Easements of greater widths may be required under extraordinary conditions of topography or utility line groupings*

The proposed road alignment and right-of-way meets the standards above. A 66-foot right-of-way is provided for the proposed public road Anchor Drive, connecting Third St. and McKnight Road. The proposed plat is currently under review by MNDOT regarding access to McKnight Road.

Roadway and pond easements are consistent with City requirements.

Proposed Lot/Building Dimensional and Setback Requirements

- *153.33 (A) Consideration of Plat Approval: The minimum area of lots in plats or subdivisions outside of shoreland areas shall meet city requirements. The minimum width of lots outside of shoreland areas shall meet city requirements at the building line, but the Council reserves the right to waive these requirements where the same would cause unusual hardship, provided the area requirements are met*
- *154.006(C)(3) refers to Table 4 for the lot requirements within the residential districts.*

A Summary of the information included in Table 4 is provided on the following page.

Requirement	MU-3 Corridor Mixed Use	Proposed Lots
Minimum Lot Area	35,000 sf.	Approx. 2.04-3.91 acres
Minimum Lot Width	120 ft	Approx. 185-613ft.
Front Yard Setback	25 ft	n/a
Rear Yard Setback	0 ft	n/a
Side Yard Setback	0 ft.	n/a
Maximum Height	Five (5) stories or 55 ft.	n/a

The proposed greatly exceed the lot area and width requirements of the MU-3 district. Setback and height requirements are not yet applicable and will be reviewed during site plan approval for individual development proposals.

Sewer and Water Services

- 153.34 Consideration of Plat Approval: The subdivider shall make adequate provision for connection to the city water and sewer services and storm water disposal. Subdivider shall provide the city with such information as may be necessary to determine the adequacy of the facilities proposed to be used for such purposes. The developer shall construct water lines, sanitary sewer lines or storm sewer lines, although connection to other lines outside the area may not be possible immediately where plans for the installation of such lines in the area have been prepared by the engineer or other competent person and construction of such a system or utility has already commenced or has been completed in other areas of the city. The Council may require that such lines be constructed outside the area being platted or subdivided where necessary in order to properly serve the area being subdivided or platted. Two or more owners, subdividers or platters may enter into contracts with the city for the improvement of several subdivisions, parcels or plats at the same time when such water, sewer or storm sewer lines would pass through and serve the several areas concerned and could reasonably be constructed in a single project*

The City is installing all utilities to prepare the sites for development.

RECOMMENDED ACTION

Based on the findings described in this report, staff recommends the following actions:

Approval of the requested preliminary and final plat for Anchor Block Commons.

**CITY OF NORTH ST. PAUL
NOTICE OF PUBLIC HEARING
MINOR SUBDIVISION, PRELIMINARY PLAT,
AND FINAL PLAT**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of North St. Paul, Minnesota will hold a public hearing to accept public input on applications for a Minor Subdivision, Preliminary Plat, and Final Plat at the property listed below:

Parcel Identification Numbers: 122922330059

Property Address: 2300 McKnight Rd. N.

Legal Description: Lot Alley of NORTH ST PAUL PROPER,,RAMSEY C
SUBJ TO RD & HWY 36/118 THE FOL; VAC ALLEY BET & BLKS 1 AND BLK 2

Applicant/Address: City of North St. Paul/2400 Margaret St., North St. Paul, MN 55109

The application requests the approval of the subdivision of the property into three parcels for future development, with dedication of right-of-way for a new public street connecting 3rd Street and McKnight Road.

The public hearing will be conducted on Thursday, December 5th, 2019 at approximately 6:15 p.m. or shortly thereafter at the City Council Chambers of City Hall, located at 2400 Margaret Street, North St. Paul.

Such persons with desire to be heard with reference to this matter will be heard at this meeting. Written comments for inclusion in the Planning Commission packet shall be delivered no later than November 26th. Written comments may be submitted until 6:00 pm on December 5th, the day of the public hearing, and shall be provided to the Planning Commission at the meeting. Please direct questions or written comment to the Planning Commission Secretary: planner@northstpaul.org or (651) 747-2595.

PUBLISH: November 24th, 2019



November 25th, 2019

SUBJECT: NOTICE OF APPLICATION FOR MINOR SUBDIVISION, PRELIMINARY PLAT AND FINAL PLAT AT 2300 MCKNIGHT ROAD.

Dear Resident,

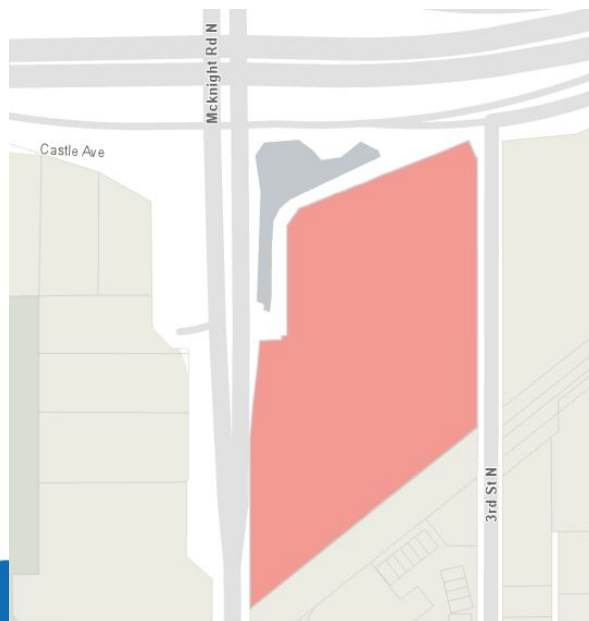
Pursuant to the provisions of the North St. Paul Zoning Ordinance, this letter is to inform you of applications for Minor Subdivision, Preliminary Plat and Final Plat at 2300 McKnight Road. The application requests the approval of the subdivision of the property into three parcels for future development, with dedication of right-of-way for a new public street connecting 3rd Street and McKnight Road.

Ramsey County records indicate your residence is located within 350 feet of the site of this proposal. You are hereby notified of a public hearing to accept public input held by the Planning Commission of the City of North St. Paul at **6:15pm on Thursday, December 5th, 2019** in the Council Chambers of City Hall, 2400 Margaret St. N. The public will be invited to offer questions and comments concerning this application at that time. You may also submit comments in writing. All written comments will become part of the public record. Please feel free to contact the Planning & Zoning department at (651) 747-2595 or planner@northstpaul.org for more information.

Information relating to these applications is available the Community Development counter Monday through Friday from 8:00 a.m. to 4:30 p.m. The Planning Commission packets containing the meeting agenda and application materials will be available on the City of North St. Paul website prior to the meeting.

Sincerely,

Olivia Boerschinger
Community Development





City of North St. Paul
2400 Margaret Street
North St. Paul, MN 55109
Phone (651) 747-2407
www.northstpaul.org

ZONING & LAND USE APPLICATION

Escrow:
\$500 min.
(code 1.2044)

Application Fee:
\$500.00
(code 1.3290)

APPLICATION FOR MINOR SUBDIVISION

The minor subdivision permit process must be scheduled through the Community Development Planning and Zoning Department. The lead-time for submittals shown on this application is necessary to allow City staff and consultants time to review and comment on documents provided. Additional lead-time will be required if the City determines that the potential impacts require more detailed study, or if review by other agencies is required. Incomplete application submittals will not be forwarded to the appropriate Commission or Council until all required information has been provided.

APPLICANT INFORMATION

Applicant Name: CITY OF NORTH ST. PAUL
Company (if applicable): _____
Address: _____
City, State, Zip: _____
Phone Number: _____
Email: _____
Are you the owner of the property? ☒ YES ☐ NO
(If no, you must supply property owner information)

Owner Name: CITY OF NORTH ST. PAUL
Company (if applicable): _____
Address: 2400 MARGARET ST.
City, State, Zip: NORTH ST. PAUL, MN 55109
Phone Number: 651-747-2400
Email: _____

PROPERTY INFORMATION

Street location of property (address): 2300 MCKNIGHT RD. N.
Parcel Identification Number (PID) (see Ramsey County website): 122922330059
Legal description of property: _____
Present zoning of property (see City website): MU3 - Corridor Mixed Use
Size of property (acreage): 10.27
Title information: _____ Abstract _____ Torrens
Property Description: _____ Residential ☒ Commercial _____ Industrial _____ Institutional

PROPOSAL INFORMATION

Application is hereby made for a Minor Subdivision

☒ Lot Split _____ Lot Combination _____ Lot Line Adjustment

The applicant hereby grants permission for the City's employees, officials, and agents to enter onto the property that is subject to this application for the purposes of viewing the property and reviewing this request.

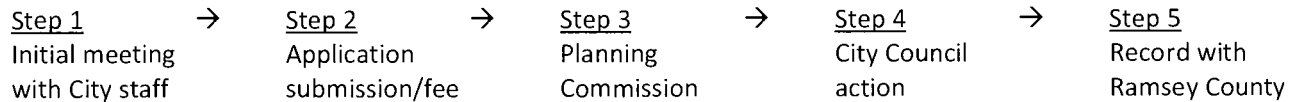
Provide a project description (attach additional paperwork if necessary): DIVISION OF PROPERTY INTO THREE (3) PARCELS FOR FUTURE DEVELOPMENT, WITH THE ADDITION OF A NEW STREET CONNECTING THIRD ST. AND MCKNIGHT ROAD.

NOTE:

1. In addition, the City requires a Certificate of Survey reflecting the location(s) of the building(s) for all new construction prior to issuance of a building permit.
2. Filling or excavating a wetland may require a permit from the City or Watershed District.
3. County driveway permits are required where applicable.
4. Contact the Finance Department at (651) 747-2404 for sewer, water or any other pending or deferred assessments or cash connection charges. Any outstanding assessments or required cash connection fees must be paid at the time of application.
5. City Ordinances can be view online at www.amlegal.com/north_saint_paul/

LAND USE PROCESS

Review Process



	MONTH: _____					MONTH: _____				
App Submittal										
Design Review										
EAC										
Parks & Rec										
Planning Commission										
City Council										
WEEKS:	1	2	3	4	5	1	2	3	4	5

Regular Scheduled City Meetings:

PLANNING COMMISSION

1st Thursday of the month (6:15 p.m.)

DESIGN REVIEW COMMISSION

4th Thursday of the month (5:00 p.m.)

ENVIRONMENTAL ADVISORY COMMISSION

4th Monday of the month (6:00 p.m.)

PARKS & RECREATION COMMISSION

4TH Wednesday of the month (6:30 p.m.)

ECONOMIC DEVELOPMENT AUTHORITY

2ND Tuesday of every odd month (4:00 p.m.)

CITY COUNCIL

1st and 3rd Tuesday of the month (6:30 p.m.)

APPLICATION SUBMITTALS

Required

Completed

_____	_____	Completed Application.
_____	_____	Application fee: \$500 (must submit escrow fee also, see 1 st page, top right corner).
_____	_____	1 full size set and 1 electronic set of drawings of a Certified Land Survey showing:
_____	_____	Legal description of present property to be divided, combined, or altered property line.
_____	_____	Proposed lot lines. Clearly identify each new parcel (ie., Parcel A, Parcel B, etc.,)
_____	_____	include street widths, lots, building and set back lines, easements, etc.
_____	_____	Dimensions of all property lines.
_____	_____	Proposed use and area of each new lot.
_____	_____	Existing and proposed drainage and contour plan.
_____	_____	Location and width of proposed utility easements. (<i>The City requires new lots to have drainage and utility easement located on the front and rear 10 feet and the side 5 feet of the lot. These easements must be reflected on the survey.</i>)
_____	_____	Location and widths of existing street rights-of-way, railroad and utility rights-of-way, parks and other public open space, permanent building and easements within the existing lot and adjoining lots. (<i>The term <u>UTILITY</u> shall include sanitary sewers, storm sewers, water, gases, electricity, telephone, street lights, and drainage. The location and size of the nearest water main and sewer or outlet shall be indicated.</i>)
_____	_____	Areas intended to be dedicated for public use, including the areas of those dedications.
_____	_____	Scale and North arrow.
_____	_____	Any additional data requested by the City: _____

NOTE:

- After all approvals are granted, the City will then record the survey and the certified copy of the City Resolution with Ramsey County. Ramsey County will not accept a survey or deed for recording unless the City has given their approval first.
- Verification of Ramsey County recording of the lot division is required prior to the City issuing a building permit for the new lot(s).

NOTE TO APPLICANT

All completed application and accompanying materials are due 30 days prior to the scheduled Planning Commission meeting (if applicable). The purpose of this submittal requirement is to allow for:

1. Plan distribution to the City staff, consultants, and applicable government entities.
2. Project review time and generation of staff reports.
3. Project meetings between City staff and applicants.
4. Meeting materials preparation and distribution.

The North St. Paul City Codes guide and enable development activities within the City by ensuring proper and well-coordinated projects. The land use application is the mechanism that allows the City to examine proposed land uses to ensure compatibility with the City Codes, design and development standards, and the surrounding land uses and natural environments. The review is intended to ensure positive growth for the community. All applications are reviewed individually and are evaluated based on their own merit. Each land use request has an associated checklist of required items. Applicants are encouraged to participate in an initial meeting with City staff prior to submitting a formal land use application. The initial meeting is an opportunity to informally discuss the conceptual idea of the proposed project in an effort to reduce delays. Participation in the initial meeting does not provide approval, or guarantee approval of the project. The City shall not accept plans, drawings, or other information related to the project except upon submittal of a formal application. The City reserves the right to reject an incomplete application.

APPLICATION FEE STATEMENT

There may be additional expenses pertaining to project review that is the responsibility of the applicant. All applicable fees must be paid when submitting land use applications and accompanying materials. All fees, which are set annually by City Ordinance, help cover costs incurred by the City to review the application. The City of North St. Paul often uses consulting firms to assist in the review of projects. Please refer to the City's Fee Schedule for information on planning review fees and other applicable costs.

REVIEW REQUIREMENTS

Minnesota State Statute 15.99 requires local governments to review an application within 15 business days of submission to determine if an application is complete and/or if additional information is required to complete the review. Once complete, a formal 60-day review period begins. The City has the ability to extend the review period for an additional 60 days, if necessary, due to insufficient information or scheduling difficulties. Please review the corresponding checklist that goes with the request. All applications must be received by the deadline(s) attached hereto. Failure to submit by the date given may result in a delay of the review by the Planning Commission and City Council.

ACKNOWLEDGEMENT

I certify that all information submitted is true and correct and I fully understand that all information and a complete application must be submitted at least 30 days prior to a Planning Commission meeting to ensure review by the Planning commission on that date. By signing this form, I hereby acknowledge the receipt of the checklist and procedure for the project to be submitted for consideration. It is my responsibility to check all applicable ordinances pertaining to the application, comply with all ordinance requirements, and submit all required materials. All permit requests should be submitted in a timely manner so as not to cause project delays.

Applicant signature: Scott Duddick Date: 11/21/19
Owner Signature: Scott Duddick Date: 11/21/19

PROPOSED MEETING DATES:

Design Review Commission: _____ Planning Commission _____ Parks & Rec Commission _____
Environmental Advisory Commission _____ City Council _____

FOR OFFICE USE ONLY

Date submitted: _____ Date complete: _____ If incomplete, date letter sent to applicant: _____
Date of public hearing: _____ Publication date: _____ Date notice sent to adjoining properties: _____
Amount fee paid: _____ Date fee paid: _____ Receipt #: _____ File #: _____

Planning Commission action: _____ Recommend approval: _____ Recommend denial: _____
Date applicant/property owner notified of Planning Commission action: _____

City Council action: _____ Recommend approval: _____ Recommend denial: _____
Date applicant/property owner notified of City Council action: _____

Date filed with Ramsey County Recorder office: _____

ANCHOR BLOCK COMMONS

KNOW ALL PERSONS BY THESE PRESENTS: That Anchor Crossings, LLC, a Minnesota limited liability company, owner, and that the City of North St. Paul, a Minnesota municipal corporation, contract for deed vendee of the following described property situated in the City of North St. Paul, County of Ramsey, State of Minnesota:

All that part of Block One (1) of North St. Paul Proper Ramsey County, Minn., according to the recorded plat thereof, Ramsey County, Minnesota; and the Northwestern One-half (NW¹/₂) of the vacated alley lying between Blocks One (1) and Two (2) which accrued to Block One (1) by operation of law upon vacation thereof, lying Southeasterly of the following described line:

Beginning at a point on the West line of Section Twelve (12), Township Twenty-nine (29) North, Range Twenty-two (22) West distant 999.3 feet South of the West quarter corner thereof; thence run Northeasterly to a point on the East line of Lot Twenty-four (24) of Block Two (2) of North St. Paul Proper, distant Eighty-five (85) feet North of the Southeast corner thereof and there terminating;

Except all that part thereof lying Westerly of the following described line:

Beginning at the point of intersection of the above described line with a line run parallel with and distant One Hundred Thirty-five (135) feet East of the West line of said Section Twelve (12); thence run South on said 135 foot parallel line to its intersection with the South line of Lot Four (4) of said Block Two (2); thence run West on the South line of said Lot Four (4) to its intersection with a line run parallel with and distant 65 feet East of the West line of said Section Twelve (12); thence run Southwesterly to the point of intersection of a line run parallel with and distant Forty (40) feet East of the West line of said Section Twelve (12) with the South line of Lot Seven (7) of said Block Two (2) and there terminating;

And Except: A triangular piece adjoining and easterly of the last described strip, southeasterly of the first described line and northwesterly of the following described line: Beginning at a point on the last described line; distant 30 feet south of its intersection with the first described line; thence run northeasterly to a point on the first above described line, distant 30 feet northeasterly of said intersection and there terminating.

Together With:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25 and 26, Block 2, North St. Paul Proper; and the Southeasterly half of the vacated alley lying between Blocks 1 and 2 which accrued to Block 2 by operation of law upon vacation thereof, lying Southeasterly of the following described line: Beginning at a point on the West line of Section 12, Township 29 North, Range 22 West distant 999.3 feet South of the West quarter corner thereof; thence run Northeasterly to a point on the East line of Lot 24 of said Block 2 distant 85 feet North of the Southeast corner thereof and there terminating; except all that part thereof lying Westerly of the following described line: Beginning at the point of intersection of the above described line with a line run parallel with and distant 135 feet East of the West line of said Section 12; thence run South on said 135 foot parallel line to its intersection with the South line of Lot 4 of said Block 2; thence run West on the South line of said Lot 4 to its intersection with a line run parallel with and distant 65 feet East of the West line of said Section 12; thence run Southwesterly to the point of intersection of a line run parallel with and distant 40 feet East of the West line of said Section 12 with the South line of Lot 7 of said Block 2 and there terminating.

Except that part of Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 24, Block 2, together with the vacated portion of the alley adjoining said Lots 2 and 24, all in North St. Paul Proper, as shown as Parcel 349 on Minnesota Department of Transportation Right of Way Plats Number 62-36 and 62-38 as the same are on file and of record in the office of the Registrar of Titles for Ramsey County.

Together with:

That part of Lot 4, Block 2, North St. Paul Proper, described as follows: Beginning at the point of intersection of the South line of said Lot 4, with a line run parallel with and distant 135 feet East of the West line of Section 12, Township 29 North, Range 22 West; thence North on said 135-foot parallel line for 15 feet; thence West parallel with the South line of said Lot 4 for 15 feet; thence South parallel with the West line of said Section 12 for 15 feet to the South line of said Lot 4; thence East on the South line of said Lot 4 to the point of beginning.

Except that part of Lot 4, Block 2, North St. Paul Proper, as shown in Parcel 349 on Minnesota Department of Transportation Right of Way Plat numbered 62-38 as the same is on file and of record in the office of the Registrar of Titles for Ramsey County.

Have caused the same to be surveyed and platted as ANCHOR BLOCK COMMONS and do hereby dedicate to the public for public use forever the public ways and the easements created by this plat for drainage and utility purposes only.

In witness whereof said Anchor Crossings, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ____ day of _____, 20____.

SIGNED: ANCHOR CROSSINGS, LLC

Glenn Bolles, Chief Executive Officer

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20____ by Glenn Bolles, Chief Executive Officer of Anchor Crossings, LLC, a Minnesota limited liability company, on behalf of the company.

Notary Public, _____
My commission expires _____

In witness whereof said City of North St. Paul, a Minnesota municipal corporation, has caused these presents to be signed by its proper officers this ____ day of _____, 20____.

SIGNED: CITY OF NORTH ST. PAUL

Terrence J. Furlong, Mayor

Scott A. Duddeck, City Manager/Clerk

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20____ by Terrence J. Furlong, Mayor of the City of North St. Paul, a Minnesota municipal corporation, on behalf of the corporation.

Notary Public, _____
My commission expires _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20____ by Scott A. Duddeck, City Manager/Clerk of the City of North St. Paul, a Minnesota municipal corporation, on behalf of the corporation.

Notary Public, _____
My commission expires _____

I, Thomas R. Balluff, Licensed Land Surveyor, do hereby certify that I have surveyed or directly supervised the survey of the property described on this plat; prepared this plat or directly supervised the preparation of this plat; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been correctly set; that all monuments indicated on this plat will be correctly set within one year; that all water boundaries and wet lands as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of the surveyor's certification are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20____.

Thomas R. Balluff, Licensed Land Surveyor
Minnesota License No. 40361

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me on this ____ day of _____, 20____, by Thomas R. Balluff.

Notary Public, _____
My commission expires _____

CITY COUNCIL, NORTH ST. PAUL, MINNESOTA

This plat was approved by the City Council of North St. Paul, Minnesota, on the ____ day of _____, 20____, and hereby certifies compliance with all requirements as set forth in Section 505.03, Subd. 2, Minnesota Statutes.

Mayor

Clerk

COUNTY SURVEYOR

Pursuant to Minnesota Statutes, Section 383A.42, this plat is approved this ____ day of _____, 20____.

Daniel D. Baar, L.S.
Ramsey County Surveyor

PROPERTY TAX, RECORDS AND ELECTION SERVICES DEPARTMENT, RAMSEY COUNTY, MINNESOTA

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfers entered this ____ day of _____, 20____.

Christopher A. Samuel, Ramsey County Auditor/Treasurer

By: _____
Deputy

REGISTRAR OF TITLES, RAMSEY COUNTY, STATE OF MINNESOTA

I hereby certify that this plat of ANCHOR BLOCK COMMONS was filed in the office of the Registrar of Titles for public record on this ____ day of _____, 20____, at ____ o'clock ____M. and was duly filed in Book _____ of Plats, Pages _____ and _____ as Document Number _____.

Deputy Registrar of Titles

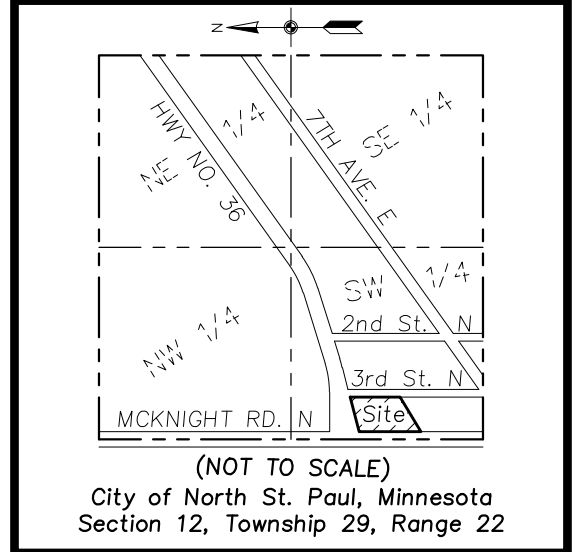
COUNTY RECORDER, RAMSEY COUNTY, STATE OF MINNESOTA

I hereby certify that this plat of ANCHOR BLOCK COMMONS was filed in the office of the County Recorder for public record on this ____ day of _____, 20____, at ____ o'clock ____M. and was duly filed in Book _____ of Plats, Pages _____ and _____ as Document Number _____.

Deputy County Recorder

ANCHOR BLOCK COMMONS

VICINITY MAP

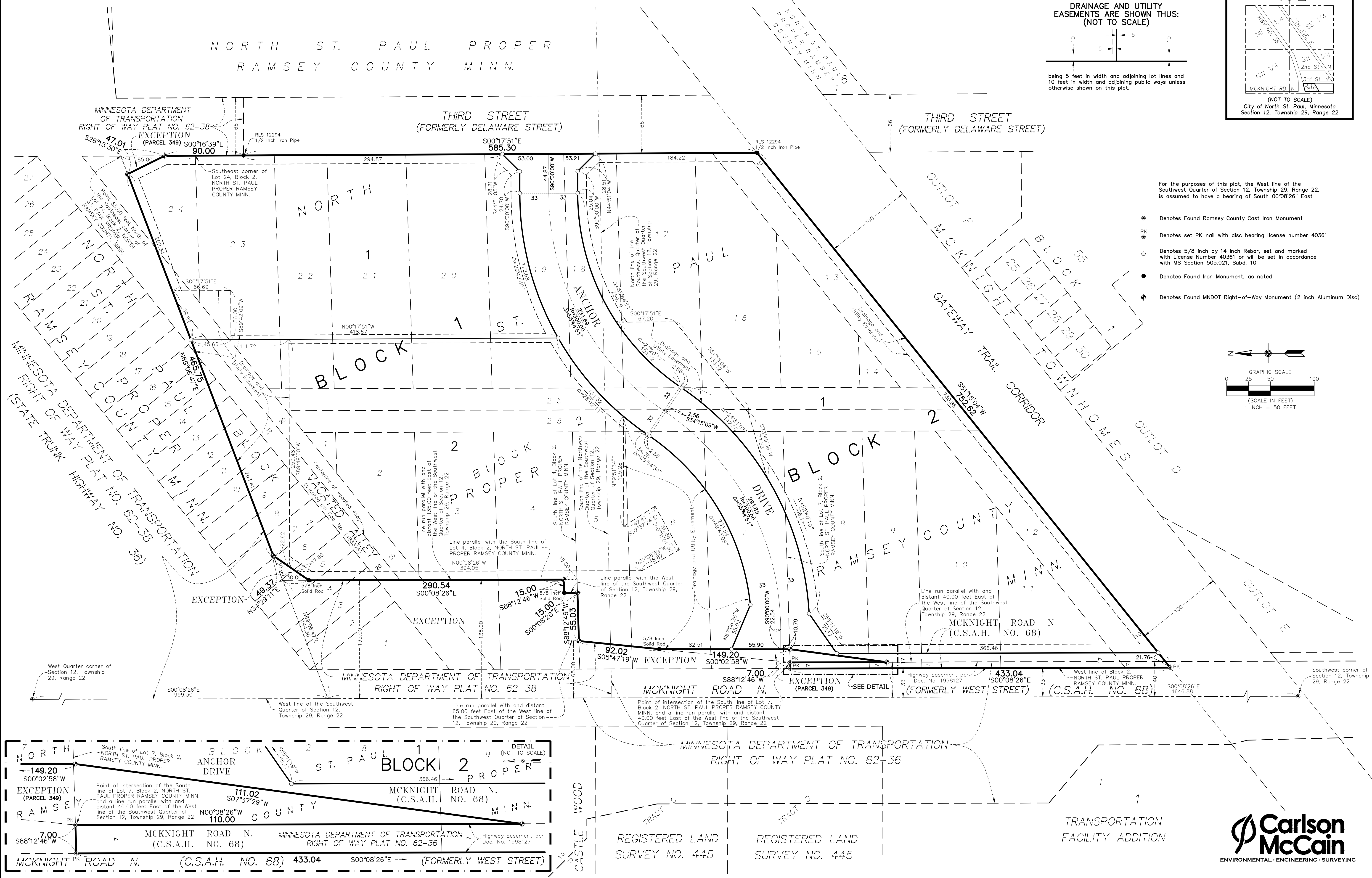
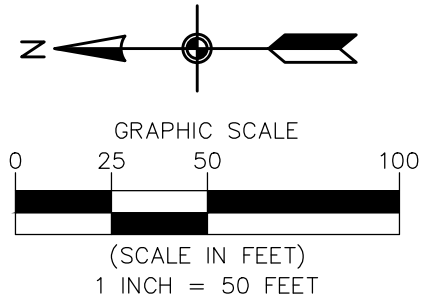


DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)

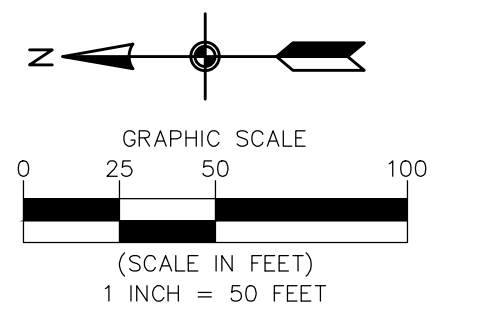
being 5 feet in width and adjoining lot lines and 10 feet in width and adjoining public ways unless otherwise shown on this plat.

For the purposes of this plat, the West line of the Southwest Quarter of Section 12, Township 29, Range 22, is assumed to have a bearing of South 00°08'26" East

- Denotes Found Ramsey County Cast Iron Monument
- PK ● Denotes set PK nail with disc bearing license number 40361
- Denotes 5/8 inch by 14 inch Rebar, set and marked with License Number 40361 or will be set in accordance with MS Section 505.021, Subd. 10
- Denotes Found Iron Monument, as noted
- ⊕ Denotes Found MNDOT Right-of-Way Monument (2 inch Aluminum Disc)

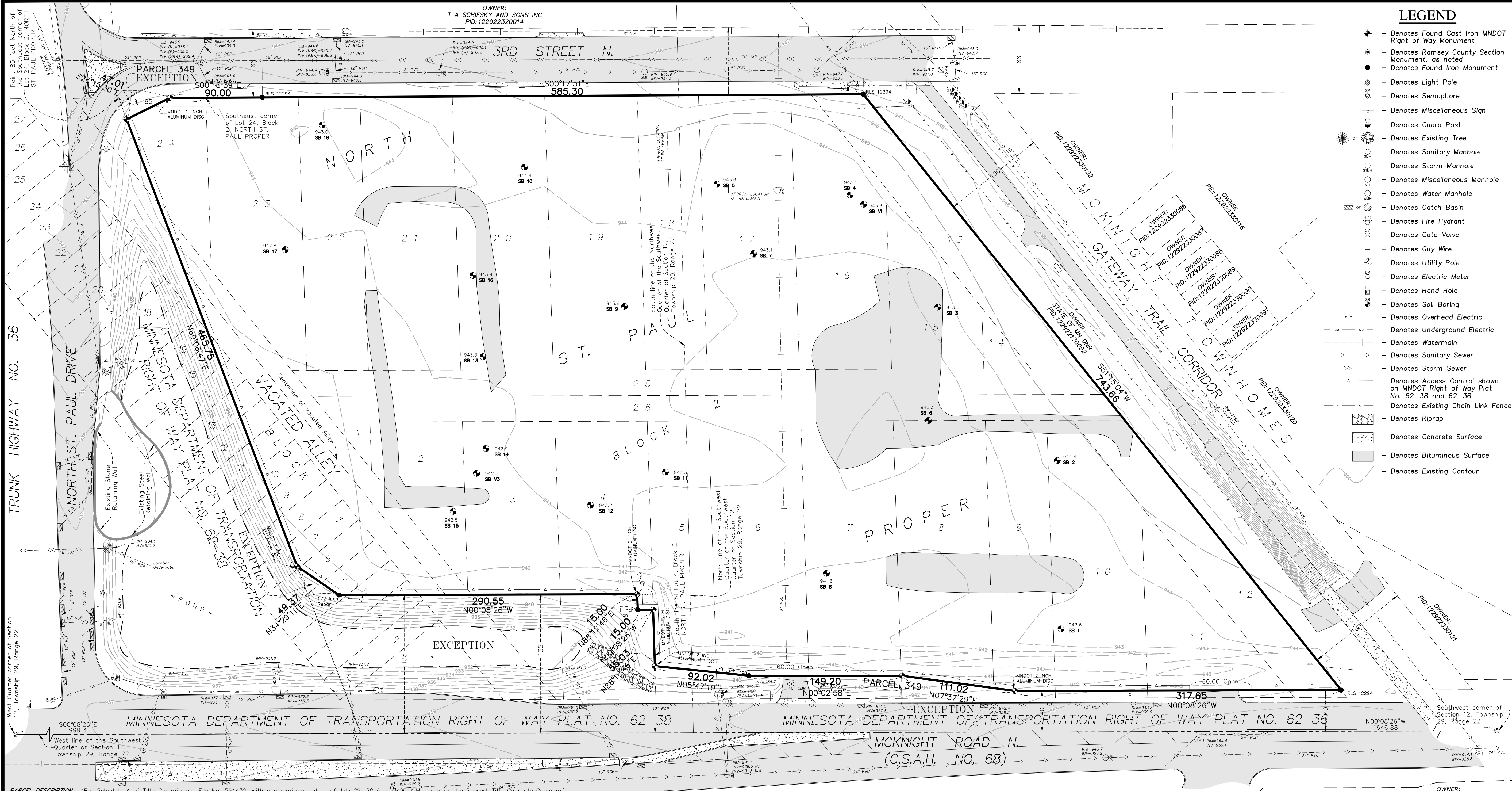


AREA MAP



Total Site Area	±10.54 AC.
Total Right of Way Area	±1.18 AC.
Total Lot Area	±9.36 AC.
LOT 1, BLOCK 1	±2.04 AC.
LOT 2, BLOCK 1	±3.41 AC.
LOT 1, BLOCK 2	±3.91 AC.





PARCEL DESCRIPTION: (Per Schedule A of Title Commitment File No. 594432, with a commitment date of July 29, 2019 at 7:00 A.M., prepared by Stewart Title Guaranty Company)

Parcel 1 (a):
All that part of Block One (1) of North St. Paul Proper, Ramsey County, Minn.; and the Northwesterly One-half (NW 1/2) of the vacated alley lying between Blocks One (1) and Two (2) which accrued to Block One (1) by operation of law upon vacation thereof, lying Southeasterly of the following described line:

Beginning at a point of the West line of Section Twelve (12), Township Twenty-nine (29) North, Range Twenty-two (22) West distant 999.3 feet South of the West quarter corner thereof; thence run Northeasterly to a point on the East line of Lot Twenty-four (24) of Block Two (2) of North St. Paul Proper, distant Eighty-five (85) feet North of the Southeast corner thereof and there terminating;

Except all that part thereof lying Westerly of the following described line:

Beginning at the point of intersection of the above described line with a line run parallel with and distant One Hundred Thirty-five (135) feet East of the West line of said Section Twelve (12); thence run South on said 135 foot parallel line to its intersection with the South line of Lot Four (4) of said Block Two (2); thence run West on the South line of said Lot Four (4) to its intersection with a line run parallel with and distant 65 feet East of the West line of said Section Twelve (12); thence run Southwesterly to the point of intersection of a line run parallel with and distant Forty (40) feet East of the West line of said Section Twelve (12) with the South line of Lot Seven (7) of said Block Two (2) and there terminating;

And Except: A triangular piece adjoining and easterly of the last described strip, southeasterly of the first described line and northwesterly of the following described line: Beginning at a point on the last described line; distant 30 feet south of its intersection with the first described line; thence run northeasterly to a point on the first above described line, distant 30 feet northeasterly of said intersection and there terminating.

According to the plat thereof on file and of record in the office of the Register of Deeds in and for said Ramsey County.
(Abstract Property)

Parcel 1 (b):
Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25 and 26, Block 2, North St. Paul Proper; and the Southeasterly half of the vacated alley lying between Blocks 1 and 2 which accrued to Block 2 by operation of law upon vacation thereof, lying Southeasterly of the following described line: Beginning at a point of the West line of Section 12, Township 29 North, Range 22 West distant 999.3 feet South of the West quarter corner thereof; thence run Northeasterly to a point on the East line of Lot 24 of said Block 2 distant 85 feet North of the Southeast corner thereof and there terminating; except all that part thereof lying Westerly of the following described line: Beginning at the point of intersection of above described line with a line run parallel with and distant 135 feet East of the West line of said Section 12; thence run South on said 135 foot parallel line to its intersection with the South line of Lot 4 of said Block 2; thence run West on the South line of said Lot 4 to its intersection with a line run parallel with and distant 65 feet East of the West line of said Section 12; thence run Southwesterly to the point of intersection of a line run parallel with and distant 40 feet East of the West line of said Section 12 with the South line of Lot 7 of said Block 2 and there terminating.

Except that part of Lots 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 and 24, Block 2, together with the vacated portion of the alley adjoining said Lots 2 and 24, all in North St. Paul Proper, as shown as Parcel 349 on Minnesota Department of Transportation Right of Way Plats Number 62-36 and 62-38 as the same are on file and of record in the office of the Registrar of Titles for Ramsey County, together with all right of access as shown on said plats by the access control symbol.
(Torrens Property, Certificate of Title No. 606653)

Parcel 2:
That part of Lot 4, Block 2, North St. Paul Proper, described as follows: Beginning at the point of intersection of the South line of said Lot 4, with a line run parallel with and distant 135 feet East of the West line of Section 12, Township 29 North, Range 22 West; thence North on said 135-foot parallel line for 15 feet; thence West parallel with the South line of said Lot 4 for 15 feet; thence South parallel with the West line of said Section 12 for 15 feet to the South line of said Lot 4; thence East on the South line of said Lot 4 to the point of beginning.

Except that part of Lot 4, Block 2, North St. Paul Proper, as shown in Parcel 349 on Minnesota Department of Transportation Right of Way Plat numbered 62-38 as the same is on file and of record in the office of the Registrar of Titles for Ramsey County, together with all right of access as shown on said plat by the access control symbol.
(Torrens Property, Certificate of Title No. 606655)

GENERAL NOTES:

- The field work for this survey was completed on July 12, 2019.
- Bearings shown are based on the West line of the Southwest Quarter of Section 12, Township 29 North, Range 22, Ramsey County, Minnesota, which is assumed to bear S00°08'26"E.
- Surveyed property address – 2300 McKnight Road N., North St. Paul, MN 55109.
- Above ground utilities have been field located as shown. All underground locations shown hereon are APPROXIMATE. Prior to any excavations or digging, contact Gopher State One Call for an on-site location (651-454-0002).
- Surveyed parcel contains ±456,118 sq. ft. (±10.47 acres).

- LEGEND**
- Denotes Found Cast Iron MNDOT Right of Way Monument
 - Denotes Ramsey County Section Monument, as noted
 - Denotes Found Iron Monument
 - Denotes Light Pole
 - Denotes Semaphore
 - Denotes Miscellaneous Sign
 - Denotes Guard Post
 - Denotes Existing Tree
 - Denotes Sanitary Manhole
 - Denotes Storm Manhole
 - Denotes Miscellaneous Manhole
 - Denotes Water Manhole
 - Denotes Catch Basin
 - Denotes Fire Hydrant
 - Denotes Gate Valve
 - Denotes Guy Wire
 - Denotes Utility Pole
 - Denotes Electric Meter
 - Denotes Hand Hole
 - Denotes Soil Boring
 - Denotes Overhead Electric
 - Denotes Underground Electric
 - Denotes Watermain
 - Denotes Sanitary Sewer
 - Denotes Storm Sewer
 - Denotes Access Control shown on MNDOT Right of Way Plat No. 62-38 and 62-36
 - Denotes Existing Chain Link Fence
 - Denotes Riprap
 - Denotes Concrete Surface
 - Denotes Bituminous Surface
 - Denotes Existing Contour

OWNER:
INDEPENDENT SCHOOL DISTRICT 622
PID:112922440052

BENCHMARK
1. Ramsey County Benchmark Station #9240, located in the Southwest Quadrant of the intersection of McKnight Road and 15th Avenue East. Elev.= 961.975 (NAVD 88)

Carlson McCain
ENVIRONMENTAL - ENGINEERING - SURVEYING
3890 Pheasant Ridge Dr. NE #100, Blaine, MN
Phone: 763-489-7900 Fax: 763-489-7959

EXISTING CONDITIONS SURVEY

ANCHOR BLOCK COMMONS
North St. Paul, Minnesota

CITY OF NORTH ST. PAUL
2400 Margaret Street
North St. Paul, MN, 55109

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: KCM
ISSUE DATE: 7/xx/19
FILE NO: 639-B

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota

Name: Thomas R. Balluff
Signature:
Date: 7/xx/19 **License #:** 40361

2 of 2

PROPOSED ACCESS OPENING AMENDMENT:

Access control as shown on MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 62-36, Ramsey County, Minnesota, is to be amended and opened between Point "A" and Point "B", more particularly described as follows:

Commencing at right of way boundary corner B13 as shown on said MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 62-36; thence North 07 degrees 37 minutes 25 seconds East, assumed bearing, along the easterly right of way line of said right of way plat, 55.58 feet to said Point "A"; thence continuing North 07 degrees 37 minutes 25 seconds East, along said easterly right of way line, 55.44 feet to right of way boundary corner B12, as shown on said right of way plat; thence North 00 degrees 02 minutes 54 seconds East, continuing along said easterly right of way line, 66.69 feet to said Point "B" and there terminating.

MEMORANDUM

Date: 12/2/2019
To: Planning Commissioners
From: Erin Perdu, AICP, City Planner
CC: Scott Duddeck, City Manager
Debra Gustafson, Administrative and Community Services Director
Re: Parking Ordinance Discussion

Commissioner Wahl has requested that the parking ordinance be brought back for discussion so that he can share his initial review and recommendations for moving forward. Attached you will find:

- Last version of the ordinance language (with and without notes)
- A summary matrix of how surrounding cities handle parking
- City of Maplewood ordinance excerpt
- City of Little Canada excerpt

Commissioner Wahl will lead this discussion at the meeting.

CITY OF NORTH ST. PAUL

ORDINANCE NO. ____

AN ORDINANCE AMENDING THE
NORTH SAINT PAUL CITY CODE OF ORDINANCES
TITLE VII, TRAFFIC CODE, CHAPTER 72, PARKING
SCHEDULES, AND TITLE XV, LAND USAGE,
CHAPTER 154, ZONING REGULATIONS

THE CITY COUNCIL OF THE CITY OF NORTH ST. PAUL, MINNESOTA
ORDAINS:

SECTION 1. Section 72.04 of the North St. Paul City Code is hereby repealed and replaced as follows:

§ 72.04 TRUCK PARKING RESTRICTED.

No person shall park a truck, truck tractor or semi-trailer which has a Gross Vehicle Weight Rating of 15,000 pounds or more for more than two hours at a time on any street in any area zoned in whole or in part for residential use under the provisions of this code.

SECTION 2. Section 154.010, Subsection (A)-13 of the North St. Paul City Code is hereby repealed in its entirety.

~~13. *Storage of vehicles, parts, and accessories* Boats, trailers, and recreational vehicles. There shall be no front yard storage of boats, trailers or recreational vehicles on the grass or landscaped areas required by this chapter. Boats or recreational vehicles stored on hard surfaced areas required by this chapter and not required for off street parking shall not exceed 21 feet in length.~~

SECTION 3. Section 154.010, Subsection (D)-19-(e) of the North St. Paul City Code is hereby repealed and replaced as follows:

(e) *General provisions.* All home occupations shall be subject to the following standards:

i. A home occupation required to have a state license shall show proof of this license to the city each year and shall maintain said license at all times while the home occupation is occurring.

ii. A home occupation shall be clearly incidental and secondary to the residential use of the premises, should not change the residential character thereof, and shall result in no incompatibility or disturbance to the surrounding residential uses.

iii. A non-illuminated nameplate a maximum of two square feet in area may be placed on the front façade of the principal structure. Otherwise, there shall be no signage, display, or advertisement visible from the exterior of the lot related to the home occupation except vehicle licenses as required by local, state or federal law.

iv. Home occupations shall not create a parking and loading demand in excess of that which can be accommodated by off-street parking facilities. Trucks, buses, and trailers that do not exceed a Gross Vehicle Weight Rating of 15,000 pounds and that are used by the owner of the home occupation may be parked on a surfaced area. Home occupations may not generate more than two trucks, , busses or trailers, at one time. Vehicles used in a home occupation must comply with all local, state and federal registration requirements.

v. No interior or exterior alterations shall be permitted and no construction features shall be permitted which are not customarily found in a dwelling.

vi. No home occupation shall produce light, glare, noise, odor, dust or vibration discernable beyond the property line that will in any way have an objectionable effect upon adjacent or nearby property.

vii. No equipment shall be used in the home occupation which will create electrical interference to surrounding properties.

viii. There shall be no exterior storage of equipment or materials used in the home occupation, including vehicle parts and vehicle accessories.

ix. Licensed tattoo establishments are not allowed as a home occupation.

SECTION 4. Section 154.010 Subdivision J-3 is hereby amended by the addition of a new subsection (i) as follows:

- (i) *Storage of vehicles, parts, and accessories on landscaped areas.* There shall be no front yard storage of trucks, boats, recreational vehicles, buses, trailers, and all other vehicles, vehicle parts, and vehicle accessories on the grass or landscaped areas.

SECTION 5. Section 154.010, Subdivision (J)-9 of the North St. Paul City Code is hereby repealed and replaced as follows:

9. Off-street parking standards for residential districts.

(a) Truck or bus parking in residential districts. Off-street parking of trucks, busses or trailers with a Gross Vehicle Weight Rating of over 15,000 pounds shall be prohibited, except for deliveries or unloading. Recreational vehicles and boats are exempt from this requirement.

(b) Vehicle storage. All trucks, busses and trailers shall be stored or parked on a surfaced area.

(c) Setbacks. New driveways and off-street parking shall be set back a minimum of three feet from side property lines.

(d) Location of parking. Required off-street parking spaces shall be provided on the same lot.

(e) Driveways, authorized parking areas, and authorized garages.

i. Driveways must lead to and abut a vehicle access door having a width of at least eight feet or an authorized parking area. Driveways must not exceed a 22 foot maximum width at the property line.

ii. Existing driveways which do not lead to an authorized parking area or authorized garage must be removed and landscaped.

iii. Existing driveways which provide access to an authorized parking area or garage shall be surfaced; however, if the driveway leads to an unpaved street or alley, a waiver to the surface requirement will be considered by the city upon receipt of a written request explaining the reason and justification for this request.

iv. Required number of off-street parking spaces. The minimum number of required off-street parking spaces are located in Table 8.

v. Parking. Vehicles parked in a driveway or other area are not allowed to extend or encroach upon the alley or street right-of-way or public sidewalk.

vi. Driveways located on a corner lot shall be set back a minimum of 15 feet from the corner of the two streets fronting the lot.

SECTION 6. This ordinance shall be effective immediately upon its passage and publication.

ADOPTED this _____ day of _____, 2019, by the City Council of the City of North St. Paul, Minnesota.

On motion by _____

Second by _____

Voting: Ayes:
Absent:
Abstain:

CITY OF NORTH ST. PAUL

BY: _____
Terry Furlong, Mayor

ATTEST:

Scott Duddeck, City Manager

Summary published in Review: _____

CITY OF NORTH ST. PAUL

SUMMARY ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE
NORTH SAINT PAUL CITY CODE OF ORDINANCES
TITLE VII, TRAFFIC CODE, CHAPTER 72, PARKING
SCHEDULES, AND TITLE XV, LAND USAGE,
CHAPTER 154, ZONING REGULATIONS**

NOTICE IS HEREBY GIVEN that, on _____, 2019, Ordinance No. _____ was adopted by the City Council of the City of North St. Paul, Minnesota.

NOTICE IS FURTHER GIVEN that, because of the lengthy nature of Ordinance No. _____, the following summary of the ordinance has been prepared for publication:

Ordinance No. _____ amends Chapters 72 and 154 of the City Code related to the parking and storage of trucks, boats, recreational vehicles, busses, trailers, and all other vehicles, vehicle parts, and vehicle accessories in residential zoning districts.

A printed copy of the entire Ordinance is available for inspection by any person during the City Clerk's regular office hours.

APPROVED for publication by the City Council of the City of North St. Paul, Minnesota, this _____ day of _____, 2019.

On motion by _____

Second by _____

Voting: Ayes:
 Absent:
 Abstain:

CITY OF NORTH ST. PAUL

BY: _____
Terry Furlong, Mayor

ATTEST:

Scott Duddeck, City Manager

CITY OF NORTH ST. PAUL

ORDINANCE NO. ____

AN ORDINANCE AMENDING THE
NORTH SAINT PAUL CITY CODE OF ORDINANCES
TITLE VII, TRAFFIC CODE, CHAPTER 72, PARKING
SCHEDULES, AND TITLE XV, LAND USAGE,
CHAPTER 154, ZONING REGULATIONS

THE CITY COUNCIL OF THE CITY OF NORTH ST. PAUL, MINNESOTA
ORDAINS:

SECTION 1. Section 72.04 of the North St. Paul City Code is hereby repealed and replaced as follows:

§ 72.04 TRUCK PARKING RESTRICTED.

No person shall park a truck, truck tractor, ~~or semi-trailer which has a gross vehicle weight in excess of six tons~~ Gross Vehicle Weight Rating of 15,000 pounds or more for more than two hours at a time on any street in any area zoned in whole or in part for residential use under the provisions of this code.

SECTION 2. Section 154.010, Subsection (A)-13 of the North St. Paul City Code is hereby repealed in its entirety.

~~13. Storage of vehicles, parts, and accessories Boats, trailers, and recreational vehicles. There shall be no front yard storage of boats, trailers or recreational vehicles on the grass or landscaped areas required by this chapter. Boats or recreational vehicles stored on hard surfaced areas required by this chapter and not required for off street parking shall not exceed 21 feet in length.~~

SECTION 3. Section 154.010, Subsection (D)-19-(e) of the North St. Paul City Code is hereby repealed and replaced as follows:

(e) *General provisions.* All home occupations shall be subject to the following standards:

i. A home occupation required to have a state license shall show proof of this license to the city each year and shall maintain said license at all times while the home occupation is occurring.

Commented [EP1]: Discussed commercial vehicle registration requirements with City Attorney and code enforcement staff. It was recommended that this is the best standard for enforcement.

Commented [EP2]: City Attorney recommended NOT including an exemption for pick up trucks, because they will be too difficult to define/distinguish from other trucks

ii. A home occupation shall be clearly incidental and secondary to the residential use of the premises, should not change the residential character thereof, and shall result in no incompatibility or disturbance to the surrounding residential uses.

iii. A non-illuminated nameplate a maximum of two square feet in area may be placed on the front façade of the principal structure. Otherwise, there shall be no signage, display, or advertisement visible from the exterior of the lot related to the home occupation except vehicle licenses as required by local, state or federal law.

iv. Home occupations shall not create a parking and loading demand in excess of that which can be accommodated in an existing driveway by off-street parking facilities. ~~Such occupation does not generate more than two vehicles at one time. Trucks, buses, and trailers that do not exceed a Gross Vehicle Weight Rating of 15,000 pounds and that are used by the owner of the home occupation may be parked on a surfaced area. Home occupations may not generate more than two trucks, boats, recreational vehicles, busses or trailers, or other vehicles, at one time. Vehicles used in a home occupation must comply with all local, state and federal registration requirements.~~

v. No interior or exterior alterations shall be permitted and no construction features shall be permitted which are not customarily found in a dwelling.

vi. No home occupation shall produce light, glare, noise, odor, dust or vibration discernable beyond the property line that will in any way have an objectionable effect upon adjacent or nearby property.

vii. No equipment shall be used in the home occupation which will create electrical interference to surrounding properties.

viii. There shall be no exterior storage of equipment or materials used in the home occupation, including vehicle parts and vehicle accessories, except that functioning, personal automobiles that are used by the owner of the home occupation may be parked on the site.

ix. Licensed tattoo establishments are not allowed as a home occupation.

SECTION 4. Section 154.010 Subdivision J-3 is hereby amended by the addition of a new subsection (i) as follows:

- (i) Storage of vehicles, parts, and accessories on landscaped areas. ~~Boats, trailers, and recreational vehicles.~~ There shall be no front yard storage of ~~boats, trailers or recreational vehicles~~ trucks, boats, recreational vehicles, buses, trailers, and all other vehicles, vehicle parts, and vehicle accessories on the grass or landscaped areas required by this chapter. ~~Boats or recreational vehicles~~ Trucks, boats, recreational vehicles, buses, trailers, and all other vehicles stored on hard surfaced areas in any yard shall not exceed a Gross Vehicle Weight Rating of 15,000 pounds, required by this chapter and not required for off-street parking shall not exceed 21 feet in length.

Commented [EP3]: Removed boats, RVs and other vehicles

Commented [EP4]: Changed to "area" from "driveway"

Commented [EP5]: Removed GVWR standard and kept this section to just regulating where vehicles can be parked.

SECTION 5. Section 154.010, Subdivision (J)-9 of the North St. Paul City Code is hereby repealed and replaced as follows:

9. *Off-street parking standards for residential districts.*

(a) Truck or bus parking in residential districts. Off-street parking of ~~commercially licensed trucks, trailers or buses~~ trucks, busses or trailers with a gross weight of over six tons Gross Vehicle Weight Rating of over 15,000 pounds shall be prohibited, except for deliveries or unloading. Recreational vehicles and boats are exempt from this requirement. ~~Trucks, trailers or buses of less than six tons gross weight shall not be stored in the front yard.~~

Commented [EP6]: GVWR standard only for trucks, busses and trailers (no mention of RVs). Added recreational vehicle and boat exemption for clarity

(b) Vehicle storage. All ~~vehicles personal, recreational, or commercial~~ trucks, busses and trailers shall be stored or parked on a driveway surfaced area.

Commented [EP7]: Removed "recreational" because there was some support for allowing RVs to be parked on grass in rear yards.

(c) Setbacks. New driveways and off-street parking shall be set back a minimum of three feet from side property lines.

(d) Location of parking. Required off-street parking spaces shall be provided on the same lot.

(e) Driveways, authorized parking areas, and authorized garages.

i. Driveways must lead to and abut a vehicle access door having a width of at least eight feet or an authorized parking area. Driveways must not exceed a 22 foot maximum width at the property line.

ii. Existing driveways which do not lead to an authorized parking area or authorized garage must be removed and landscaped.

iii. Existing driveways which provide access to an authorized parking area or garage shall be ~~improved/surfaced according to this section~~; however, if the driveway leads to an unpaved street or alley, a waiver to the surface requirement will be considered by the city upon receipt of a written request explaining the reason and justification for this request.

iv. Required number of off-street parking spaces. The minimum number of required off-street parking spaces are located in Table 8.

v. Parking. Vehicles parked in a driveway or other area are not allowed to extend or encroach upon the alley or street right-of-way or public sidewalk.

vi. Driveways located on a corner lot shall be set back a minimum of 15 feet from the corner of the two streets fronting the lot.

SECTION 6. This ordinance shall be effective immediately upon its passage and publication.

ADOPTED this _____ day of _____, 2019, by the City Council of the City of North St. Paul, Minnesota.

On motion by _____
Second by _____

Voting: Ayes:
Absent:
Abstain:

CITY OF NORTH ST. PAUL

BY: _____
Terry Furlong, Mayor

ATTEST:

Scott Duddeck, City Manager

Summary published in Review: _____

CITY OF NORTH ST. PAUL

SUMMARY ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE
NORTH SAINT PAUL CITY CODE OF ORDINANCES
TITLE VII, TRAFFIC CODE, CHAPTER 72, PARKING
SCHEDULES, AND TITLE XV, LAND USAGE,
CHAPTER 154, ZONING REGULATIONS**

NOTICE IS HEREBY GIVEN that, on _____, 2019, Ordinance No. _____ was adopted by the City Council of the City of North St. Paul, Minnesota.

NOTICE IS FURTHER GIVEN that, because of the lengthy nature of Ordinance No. _____, the following summary of the ordinance has been prepared for publication:

Ordinance No. _____ amends Chapters 72 and 154 of the City Code related to the parking and storage of trucks, boats, recreational vehicles, busses, trailers, and all other vehicles, vehicle parts, and vehicle accessories in residential zoning districts.

A printed copy of the entire Ordinance is available for inspection by any person during the City Clerk's regular office hours.

APPROVED for publication by the City Council of the City of North St. Paul, Minnesota, this _____ day of _____, 2019.

On motion by _____

Second by _____

Voting: Ayes:
Absent:
Abstain:

CITY OF NORTH ST. PAUL

BY: _____
Terry Furlong, Mayor

ATTEST:

Scott Duddeck, City Manager

	Commercial Vehicle Defined?	Recreational Vehicle Defined?	Residential Areas: Location/Number Restriction Commercial Vehicle?	Residential Areas: Location/Number Recreational Vehicle?
Oakdale	Yes Commercial Usage Vehicles: A) Vehicles and equipment designed or modified for use in any construction, demolition, maintenance or delivery activity. Provided that vehicles and equipment used for maintenance, repair, construction or delivery on the premises may be parked during the period of work. B) Tractors other than those intended for residential purposes C) All trailers or towed equipment which have a capacity greater than one (1) ton or a gross vehicle weight rating over twelve thousand (12,000) pounds. D) All trucks and pick-ups which have a capacity greater than one (1) ton or a gross vehicle weight or maximum gross vehicle weight rating over twelve thousand (12,000) pounds. E) Step vans designed or modified for the transportation of cargo, freight, construction machinery, equipment, materials or implements.	Yes Recreational and non-commercial Vehicle: Includes mobile/manufactured homes which are not permanently anchored in any way and which are not occupied as a permanent residence, including units which telescope or fold down, chassis mounted campers, house cars, motor homes, tent trailers, slip-in campers, travel trailers, converted buses and converted vans. This definition will also apply to snowmobiles, boats, personal watercraft, collector vehicles, motorcycles and stock cars utility trailers and motorized vehicles not normally licensed for highway use (all with or without trailers.) Not included are private passenger vehicles of the household or households resident.	Yes, in general Limited to One. Must be in a Garage or other building For the parking of one (1) public utility vehicle registered to a company that provides emergency repair services and is used by the occupant of the residence.	Yes Limited to One. That vehicle must be currently licensed and operable and must be parked a minimum of fifteen (15) feet from the back of the curb or roadway All recreational vehicles behind front setback line except for 48 hours for loading and unloading. Except: a) Personal watercraft on their trailers, utility trailers, campers and camping buses, from May 1 to November 1. b) Snowmobiles on their trailers or utility trailers from November 1 to the following May 1. c) Above "exceptions" must be 15 ft from the back of the curb or roadway. Recreational and non-commercial vehicles are allowed to be parked in the side and rear yard five 5 ft. On corner lots, both yards abutting a street shall be considered a front yard.
Maplewood	Yes Heavy commercial vehicle means a vehicle, including trailers, with more than a one-ton nominal rated carrying capacity, including but not limited to the following: (1) Tractor trucks, wreckers, backhoes or dump trucks; vehicles and equipment designed or modified for use in any construction, demolition, maintenance or delivery activity; semitrailers; garbage truck; tank truck; flatbed trucks; boom or bucket trucks; cattle truck; trucks carrying or designed to carry explosive or flammable materials, well-drilling equipment, earth-moving equipment; vehicles and equipment used for maintenance, repair, construction or delivery on the premises may be parked at or on the property during the period of work. (2) Tractors (road or farm) other than those intended for residential purposes or uses. (3) All trailers or towed equipment with a capacity greater than one ton or a gross vehicle weight rating of more than 12,000 pounds. (4) All trucks, trucks tractors, tractors, semitrailers, vans, or pickup trucks as defined that have a capacity greater than one ton or a gross vehicle weight or maximum gross vehicle weight of more than 12,000 pounds. (5) Step vans designed or modified for the transportation of cargo, freight, construction machinery, equipment, materials or implements. This definition does not include the resident's recreational vehicles. Light commercial vehicle means a vehicle with a nominal rated carrying capacity of one ton or less on which is attached a snowplow, carrier, crane or similar commercial attachment.	No		

Community	Zoning Ordinance Section?	Permit?	Defined in Ordinance?		Weight for Regulated Commercial Vehicle	Dimensions for Commercial Vehicle	Dimensions for Recreational Vehicle	Setbacks						Notes
			Commercial Vehicle	Recreational Vehicle				Front	Side	Rear	Front	Side	Rear	
								Commercial			Recreational			
Maplewood	Individual Zoning District Sections	CUP for heavy or more than 1 light commercial truck in R1, R2, & R3	Yes, Heavy and Light	No	Yes, Heavy: 1+ ton nominal rated carrying capacity Light: less than 1 ton nominal rated carrying capacity	No	No	None explicitly provided			None explicitly provided			Commercial Vehicles: User must reside on site, stored internally, or on hard-surface, idling restrictions
Oakdale	Performance Standards	No	Yes	Yes	Cannot exceed 12,000 lbs for trucks and trailers	No	No	*Parking within garage or structure only			underlying zoning	5 ft	5 ft	Definition for comm vehicle includes multiple types beyond truckers and trailers
Little Canada	Exterior Storage Section	No	No	No	12,000 lbs - Cannot exceed	No (6'6" vehicle can have reduced side setback)	No (6'6" vehicle can have reduced side setback)	On Driveway	10' or 3' (if less than 6'-6") must be on pavement	10' on pavement	On Driveway	10' or 3' (if less than 6'-6") must be on pavement	10' on pavement	Ordinance has a visual guide to parking location
Mahtomedi	Parking and Loading Section	No	No	Yes	Cannot Exceed 1 ton Carrying capacity	No	No	Driveway or pavement			Driveway or pavement			Commercial Trailer defined and restricted
White Bear Lake	Permitted Storage Section	No	Yes, Type I and Type II	Yes	Type II Limit to 1 ton capacity or 12,000 lbs GVW	Yes - Type I: less than 8'6" height or 22' in length Type II any vehicle greater than dimnsions above	No	Driveway or pavement, not in front of living area			Driveway or pavement, not in front of living area			Signage does not automatically mean a vehicle is commercial
Woodbury	Off-Street Parking and Loading	No	Yes* Commercial Equipment	Yes* Recreational Equipment	over 10,000 lbs GVW prohibited (any vehicle) Modified pick-up trucks and vans (with ladders, plows, etc.) exceeding one ton prohibited	Box truck or flat bed one ton or greater or greater than 8 ft in height prohibited Modified pick-up trucks and vans (with ladders, plows, etc.) exceeding eight feet in height prohibited	No	None explicitly provided			None explicitly provided			Explicitly prohibits certain types of vehicles but does not specific they are commercial vs personal - i.e. limos, step vans, food trucks, food trailers, military vehicles, dump trucks, buses (except recreational equipment), vehicles with USDOT numbers, etc.

Sec. 44-102. - Conditional uses.

In the R-1 residence district, the following uses may be permitted by conditional use permit:

- (1) The storage or parking of heavy commercial vehicles or commercial equipment or more than one light commercial vehicle, on a residential property as follows:
 - a. The storage or parking is subject to the approval of the city council and subject to the following standards:
 1. The owner or operator of the vehicle or commercial equipment must reside on the property.
 2. The vehicle or commercial equipment shall be parked in an enclosed structure or on a hard-surface driveway that meets the applicable zoning district requirements.
 3. Noise from idling the engine shall not exceed the L50 standards provided for in state statutes. The owner or operator shall not let the vehicle's engine idle for more than 30 minutes in any one-hour period. In no circumstance may the owner or operator run or let the engine idle for more than two periods, lasting 30 minutes each, in one 24-hour period.
 - b. The following are exceptions to subsection (1)a of this section:
 1. Those commercial vehicles or commercial equipment used for authorized on-site construction, repair or service at the residence.
 2. Any motor truck, pickup truck, or other commercial vehicle being used by a public utility, moving company, or similar company, which is being used to service a residence not belonging to or occupied by the operator of the vehicle.
 3. Any vehicle that is making a pickup or delivery at the location where the driver or operator has parked it. Parking shall not be for the time beyond that the driver or operator needs to make such a pickup or delivery and shall only be for the time necessary to complete the pickup or the delivery.
 4. Lawful nonconforming and permitted uses.
- (2) Golf courses.
- (3) Antennas and towers as requested by section 44-1327.

(Code 1982, § 36-66(b); Ord. No. 790, § 2, 5-11-1998)

City may independently determine that the emission of noise constitutes a public nuisance and may abate such nuisance pursuant to City Code.

- N. Refuse. Passenger automobiles, station wagons, trucks, trailers, boats, recreational vehicles, and other vehicles which require license, but which are not currently licensed by the state, or which are because of mechanical deficiency incapable of movement under their own power, parked or stored outside in violation of the City Ordinance are considered refuse or junk and shall be disposed of. The piling of junk in yards in all residential districts shall be considered to be a non-conforming use and shall be removed within a period of three (3) months after the effective date of this Ordinance. This does not intend to prohibit the legitimate and timely restoration of antique vehicles.
- O. Exterior Storage. All materials and equipment except as provided for in Sections 905 through 920 of this Ordinance shall be stored within a building or fully screened so as not to be visible from adjoining properties. Screening may consist of a wood or vinyl fence, masonry wall or landscaping meeting the requirements of Section 903.020.G. Required screening must be installed to a height of between six feet and six feet-six inches to provide visual screening along the length of the storage area from the adjacent property.

The following diagram and table describe the locational standards that apply to all residential parking and exterior storage:

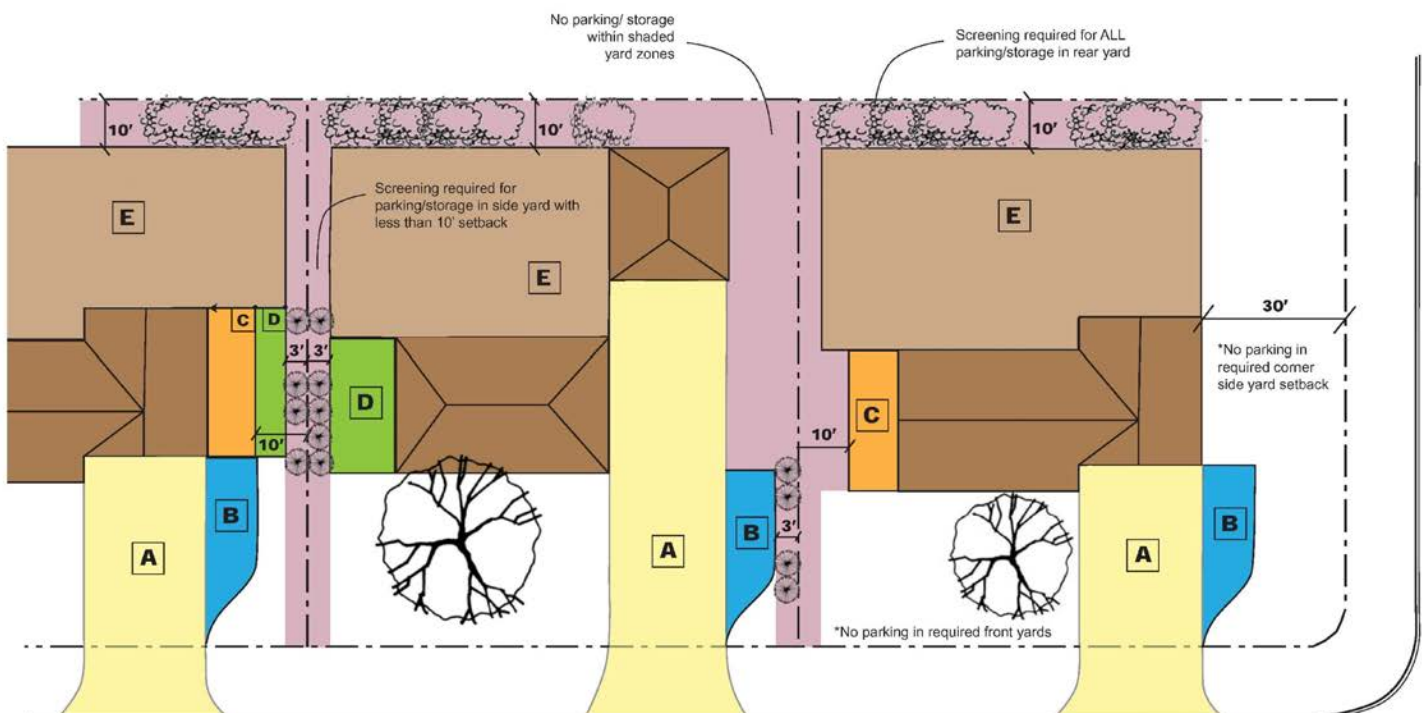


Figure 903-2a Residential Storage Diagram

	A	B	C	D	E		
	Parking - Front Driveway	Additional Front Parking Space	Side Yard with a 10' Setback	Side Yard with a 3' Setback	Rear Yard 10' Setback	Screening	Comments
Passenger autos and light trucks (licensed and legally operable only)	Yes, parking on Driveway	Yes, on one paved extra space	Yes, parking meeting a 10' setback and on paved space	Yes, parking provided less than 6'-6" high and on paved space	Yes, storage with a 10' setback – unpaved OK	None required	Front and side yard location for parking only – rear yard allowable as storage per requirements
Storage of RV and equipment (RVE), and such equipment on trailers (boats, snowmobiles, etc.)	Yes, parking on Driveway	Yes, RVE storage on designated space	Yes, RVE storage with a 10' setback and on designated space	Yes, storage of RVE provided less than 6'-6" feet high and on designated space (paved)	Yes, storage of RVE with a 10' setback – unpaved OK	Required, if in rear yard, or if in side yard with setback less than 10'	Establish a maximum of 3 recreational vehicles on any SF property, with maximum of 1 such RV stored in front yard
Parking of large, self-propelled RV (larger than passenger vehicle)	Yes, parking on Driveway (but not within right of way)	Yes, parking on paved extra space	Yes, parking with a 10' setback and on paved space	Yes, provided less than 6'-6" high, on pavement only	Yes, with a 10' setback - unpaved OK	Required, if in rear yard, or if in side yard with setback less than 10'	Same requirements as above category
Parking of commercial vehicle (licensed and operable only)	One vehicle parked if operated by resident & on driveway	Yes, parking on space designated for passenger auto parking	Yes, parking with a 10' setback and on paved space	Yes, provided less than 6'-6" high, on pavement only	Yes, with a 10' setback – unpaved OK	Required, if in rear yard, or if in side yard with setback less than 10'	Vehicle may not exceed 12,000 pounds
Storage of open Utility Trailer	Yes, but only recreational equipment may be stored	Yes, storage on designated space, same restriction as driveway	Yes, with a 10' setback; no paving required – equipment or materials OK	Yes, provided less than 6'-6" high, on pavement only	Yes, with a 10' setback – unpaved OK	Required, if in rear yard, or if in side yard with setback less than 10'	Where storage is located on unpaved surfaces, maintenance required to prohibit weeds or other nuisance conditions
Storage of enclosed Utility Trailer (or any such trailer, regardless of contents)	Yes, maximum of 1 such trailer	Yes, on designated space- same restriction as driveway	Yes, 10' setback; no paving required	Yes, provided less than 6'-6" high, on pavement only	Yes, with a 10' setback – unpaved OK	Required, if in rear yard, or if in side yard with setback less than 10'	Where storage is located on unpaved surfaces, maintenance required to prohibit weeds or other nuisance conditions
Other storage of equipment or materials	No	No	Yes, storage with 10' Setback	Not permitted	Yes, with a 10' setback-unpaved OK	Required, if in rear yard	Also subject to Nuisance Ordinance Requirements

Figure 903-2b Residential Parking and Storage Table

1. Clothes line pole and wires.
 2. Recreational equipment and vehicles except that no parking of recreational vehicles that are out of current season shall be permitted in the front yard (e.g. boats during winter, snowmobiles during summer, etc.).
 3. Construction and landscaping materials and equipment currently being used on the premises, for a period of no more than sixty (60) days. In the case of dumpsters or other waste containers being utilized for current construction projects, such containers shall be emptied at intervals of no more than thirty (30) days and shall be removed when not in use.
 4. Off-street parking of passenger vehicles and trucks not exceeding a gross capacity of twelve thousand (12,000) pounds in residential areas. No such parking shall be permitted within the rear yard, except when such parking is upon a driveway leading to a garage, or other approved parking space. Vehicles located in a rear yard shall be considered vehicle storage and subject to the location and screening requirements of this section.
 5. Temporary moving containers being used for current household relocation, for a period of no more than thirty (30) days.
 6. In Industrial Districts, gates which are part of a security fence enclosure need not be screened, provided that the gate is no greater than twenty-four (24) feet in length, and no more than one such gate is allowed to be unscreened per street frontage.
 7. Trash receptacles provided that such bins are kept in a location that is no more than five (5) feet from the house or garage. Screened trash enclosures may be located within fifteen (15) feet of the right of way line of the street. Trash receptacles may be placed at the street for 24 hours before and after the scheduled collection day.
- P. Waste Material. Waste material resulting from or used in industrial or commercial manufacturing, fabricating, servicing, processing or trimming shall not be washed into the public storm sewer system nor the sanitary sewer system, but shall be disposed of in a manner approved by the Minnesota State Fire Marshall and the Pollution Control Agency.
- Q. Bulk Storage (Liquid). All uses associated with the bulk storage of all gasoline, liquid fertilizer, chemical, flammable and similar liquids shall comply with requirements of the Minnesota State Fire Marshall and Minnesota Department of Agriculture Offices and have documents from those offices stating the use is in compliance.

MEMORANDUM

Date: 11/27/2019
To: Planning Commissioners
From: Erin Perdu, AICP, City Planner
Ryan Krzos, AICP, Planning Consultant
CC: Scott Duddeck, City Manager
Debra Gustafson, Administrative and Community Services Director
Re: Preliminary Planned Unit Development Review for 0 Burke Avenue E

BACKGROUND

The Planning Commission previously reviewed this request at the November 7th meeting. At that time the Commission voted to table the request pending the submission of additional information. Note: new information provided below is highlighted.

The applicant, Patrick Cotter, is requesting approval for a Residential Planned Unit Development (PUD) for the property located at 0 Burke Avenue E and the adjacent parcel at 2120 5th St. N. The proposal would allow for the development of six units of multi-family housing on the 0 Burke property with shared parking and access with the existing four-unit housing on the 2120 5th St. N. property. The unit mix within the new building consists of three (3) two-bedroom units and three (3) three-bedroom units. The site where the new building is proposed is currently within the MU-3 Corridor Mixed Use District. The parcel containing the existing four-unit building is in the R-3 Multiple Family Residential District. Multi-family apartment units are permitted in both the MU-3 and R-3 Zoning Districts. Additionally, Residential Planned Unit Developments are allowed in the MU-3 and R-3 Zoning Districts. Earlier this year, the City vacated the south half of the Burke Avenue right-of-way which abuts the properties to the north.

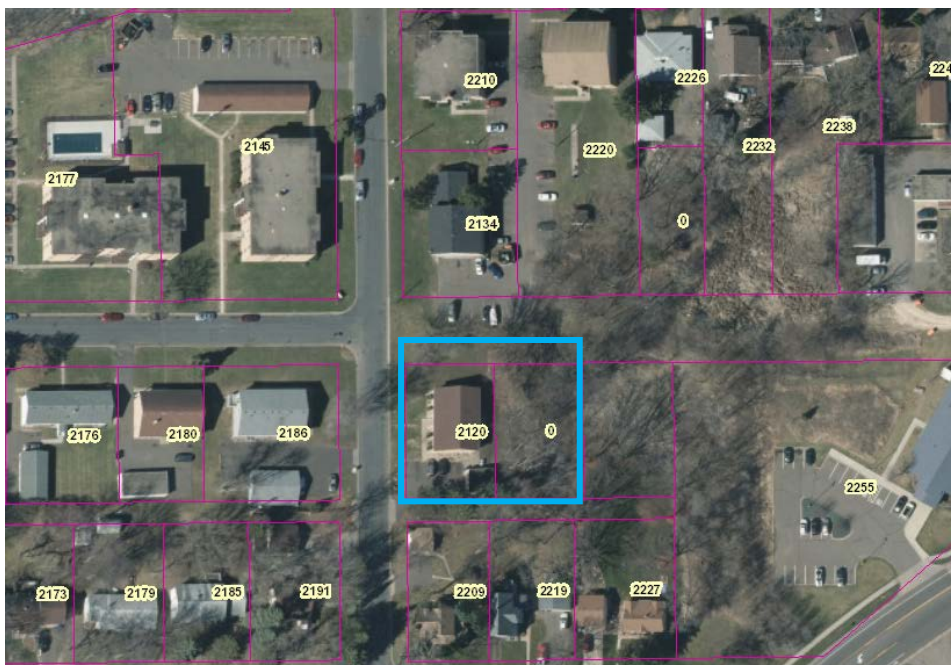


Figure 1: Location Map

The off-street parking areas and access drive to the proposed building would be located within the vacated right-of-way.



Figure 2: Zoning Map

GENERAL STAFF REVIEW

Consistency with the City Plans

- 154.008 (C)(4) PUD General Standards (b) Consistency with Comprehensive Plan. The proposed PUD shall be consistent with the Comprehensive Plan.

The 2040 Comprehensive Plan designates the site for corridor mixed uses. The proposed improvements will be consistent with the type of uses and structures envisioned within this future land use category. This is evidenced by the fact that the proposed density falls within the corridor mixed use guidelines as noted below.

Compatibility with Surrounding Context

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (D). The arrangement of buildings, structures, and accessory uses does not unreasonably disturb the privacy or property values of the surrounding residential uses.
- 154.008 (C)(4) PUD General Standards (f) Relationship of PUD site to adjacent areas. The design of a PUD shall take into account the relationship of the site to the surrounding areas. The perimeter of the PUD shall be so designed as to minimize

undesirable impact of the PUD on adjacent properties and, conversely, to minimize undesirable impact of adjacent land use and development characteristics on the PUD.

- *154.010(E)(3) General Architectural requirements (g) Protection of views. Buildings shall be designed and oriented so as not to detract from one another or to unduly restrict views to open spaces, plazas and vistas.*

The proposed building is located 10 feet from the rear (south) property line which adjoins other residential properties. The landscaping plan depicts evergreen plantings to serve as screen for the adjoining residential properties. The lots to the east are undeveloped and consist of wooded and wetland areas. A useable common open space is provided between the proposed building and the existing building to the west. Multi-family structures are located further west across 5th Street. An existing multi-family dwelling and associated parking area is located directly north of the subject site.

The proposed building materials and building form are consistent with the residential surroundings of the subject site. The building would comply with the applicable setback standards of the MU-3 Zoning District.

Lastly, the proposed building does not restrict views to open spaces plazas, or vistas.

Proposed Uses

- *154.007(C)(1) Permitted, Conditional, and Interim Uses refers to Table 6 for allowed uses within the mixed-use districts.*
- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (H) Proposed unit and accessory use requirements are in compliance with the district provisions in which the development is planned.*
- *154.008 (C)(4) PUD General Standards (c) Permitted uses. All permitted, conditional, and interim uses contained in the underlying zoning district shall be treated as permitted, conditional, and interim uses in the PUD Overlay District.*

Multi-family dwellings are a permitted use in the MU-3 Zoning District. Residential planned unit developments are also permitted in the MU-3 District. Other uses allowed in the MU-3 District, such as exclusively commercial or mixed commercial and residential uses, would not be appropriate in this particular location due to there not being direct frontage on a roadway with a commercial-supportive traffic volume.

Proposed Lot/Building Dimensional and Setback Requirements

- *154.007(C)(3) refers to Table 7 for the lot requirements within the mixed-use districts.*
- *154.008 (C)(4) PUD General Standards (l) Building height. Height limitations shall be the same as imposed in the respective zoning districts.*
- *154.008 (C)(4) PUD General Standards (d) Density. Increased density shall be permitted to encourage the preservation of natural topography and geological features. The city may, but shall not be required to, provide concessions in setbacks, density, or lot size to protect waterways or water bodies, steep slopes or other areas which would normally not be developable. The city will consider allowing an increase in the allowable density upon*

proof by the applicant that some of the following features are being provided as part of the proposed development:

- i. Preservation of natural site features, wetlands, lowlands, wooded areas, and the like, protected by the Minnesota Department of Natural Resources, by the city and/or Ramsey County ordinances.*
- ii. Creation of conservation easements due to steep slopes, wooded areas and/or environmentally sensitive areas, as identified in the Comprehensive Plan.*
- iii. Creation of park/public areas for active and passive park uses beyond required standards or other public purposes such as schools, public buildings, greenways, and the like which meet the intent of the Park and Recreation goals of the Comprehensive Plan and are consistent with the public dedication requirements for the proposed development.*
- iv. Installation of public improvements designed to serve areas beyond the project boundary.*
- v. The city may consider increased density for housing projects which provide affordable housing options, consistent with the Comprehensive Plan.*
- *154.008 (C)(4) PUD General Standards (d) Minimum lot size. The minimum lot size requirements of other sections of this chapter do not apply to a PUD except that the minimum lot size requirements of the underlying zone shall serve as a guideline to determine the maximum dwelling unit density of a total development. The maximum dwelling unit density shall be determined by the area remaining after appropriate space for street right-of-ways and any other public dedications have been determined and subtracted from the total PUD area. If the property involved in the PUD includes land in more than one zoning district, the number of dwelling units or the square footage of commercial, residential or industrial uses in the PUD shall be proportional to the amount that would be allowed separately on the parcels located in each of the underlying zoning districts.*
- *154.010 (A) Development Standards (1) Lot coverage and building setback. The maximum lot coverage shall be determined by the design and development standards, including required open space/plaza areas, traffic sight distance, buffering/berming features and similar requirements of this chapter.*

The table below summarizes the requirements contained in this section of the code for the MU-3 zoning designation, and the proposed development (*items marked in red are areas where the lots do not meet zoning standards*):

Requirement	MU-3	Proposed
Minimum Lot Size	35,000 sq. ft.	12,268 sq. ft. (Existing parcel to the east, includes vacated area)
Minimum Lot Width	120 ft	79.74 ft. (Existing)
Front Yard Setback	25 ft	98.5 ft.
Rear Yard Setback	0 ft	10 ft.
Side Yard Setback	0 ft	10 ft. on both sides
Maximum Height	Five (5) stories or 55 ft. in height	The proposed buildings will be 3 stories and approx. 34 ft. in height, as measured from

Requirement	MU-3	Proposed
		finished grade to the mid-point between the eaves and the ridge, as is determined for sloped roofs.

The minimum lot size within the MU-3 District is 35,000 square feet, and the existing lot does not meet the dimensional lot standards, however it is considered a legal nonconforming lot. The subject parcel is an existing, legal, non-conforming lot within this zoning district. The density of the parcel zoned MU-3 is 6 units on .23 acres or 26 units per acre. The MU-3 Zoning district does not have a stated density limitation. The Corridor Mixed Use guidelines in the Comprehensive Plan state that density should range from 12 to 40 units per acre. Accordingly, the project conforms with allowable residential density. The MU-3 Zoning District does not have an underlying density unit requirement.

The proposed structure would comply with the applicable setback standards of the MU-3 Zoning District. The MU-3 Zoning District has a height limit of five stories or 55 feet. The proposed building would be three stories and 34 ft. in height, as measured from finished grade to the mid-point between the eaves and the ridge, as is method for determining height for sloped roofs.

Ownership

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria (A). Adequate property control is provided to protect the individual owner's rights and property values and the public responsibility for maintenance and upkeep.
- 154.008 (C)(4) PUD General Standards (a) Ownership. An application for PUD approval must be filed by the landowner or jointly by all landowners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approval of the final plat shall be binding on all owners. In absence of an ownership application, the project developer may submit with the development application the written consent of all property owners within the proposed PUD. The financial commitments incurred through any portion of the development shall be the responsibility of the owner.

The application has been filed by the property owner of the parcel under consideration. The subject parcel is owned by the applicant. The residential units will be held in ownership by the applicant and rented to tenants. The applicant will be responsible for maintenance and upkeep. At the November 7th Planning Commission meeting, additional information was requested regarding snow storage. Staff recommends that these details be included with submission of final PUD plans.

Utilities and Municipal Services

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria (F). The drainage and utility system plans are submitted to the City Engineer and shall be subject to approval of the City Engineer.

- 154.008 (C)(4) PUD General Standards (k) Public services. The proposed project shall be served by the city water and sewer system and fire hydrants shall be installed at such locations as required by the City Engineer or the Fire Chief to provide fire protection.
- 154.008 (C)(4) PUD General Standards (g) Utility requirements. Utilities, including telephone and electrical systems, installed within a PUD shall be placed underground. Utility appurtenances which can be effectively screened may be exempt from this requirement if the city finds that such exemption will be consistent with the objective of this section and the character of the proposed PUD.
- 154.010(A) Development Standards (9) Utility installations. All on site utility installations shall be placed underground.
- 154.010(D)(45) Multi-family Supplemental Standards. (e) Utilities. Building utility services and structures such as meters, transformers, refuse containers, including dumpsters, ancillary equipment and the like shall be either located inside the principal building, inside an accessory building, or, where allowed, be outside and entirely screened from off-site views. For new buildings, all utilities shall be underground.
- 154.010(E)(3) General Architectural requirements. (b) Utilities. Building utility services and structures such as meters, transformers, refuse containers, including dumpsters, ancillary equipment and the like shall be either located inside the principal building, inside an accessory building, or, where outside be entirely screened from off-site views. For new buildings, all utilities shall be underground.

The City Engineer has reviewed the development plans and provided recommended revisions. Please see "Engineering Comments" section.

Water, sewer, and storm sewer facilities are shown on the utility plan as located underground. Telephone and electrical systems were not identified on the utility plan. Any utilities not shown on the plan would have to be screened or located underground and would have to be shown on a revised utility plan and submitted for review prior to construction or shown on final PUD plans.

The revised utility plan identifies the locations on the site where the soil borings occurred.

The plans are currently under review by the City Fire Chief. All fire access and hydrant locations must be approved by the Fire Chief on the final PUD.

Architecture

- 154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (D) The architectural design of the project is visually compatible with the surrounding area. Architectural style or type of buildings shall not solely be a basis for denial or approval of the preliminary PUD plan. However, the overall appearance and compatibility of individual buildings to other site elements of surrounding development will be given primary consideration in the review stages of the Planning Commission and City Council.
- 154.010(E)(3) General Architectural requirements (f) Pedestrian-oriented design. Building designs are encouraged to make the street enjoyable, visually interesting and comfortable. Individual buildings should be integrated with the streetscape to bring activity in the building in direct contact with the people on the street.

- *154.010(E)(4) Architectural control. (c) Multiple family dwelling (i). Shall be designed to consist of exterior materials compatible with residential development in the area with due regard to architectural quality and the massing of structures and shall be designed with suitable fenestration.*
- *154.010(E)(4) Architectural control. (c) Multiple family dwelling (ii). Roof type. Roof style shall be gable or hip roof. Flat roofs are discouraged and may not be appropriate.*

Exterior materials shown on the proposed elevations include fiber cement siding and trim, brick veneer, and asphalt roofing. These materials are consistent and compatible with dwellings in the vicinity. The elevations show a primary and secondary entry way, and multiple windows per unit. The roof as proposed is a pitched cross hip style.

The proposed building is located 10 feet from the rear (south) property line which adjoins other residential properties. The landscaping plan depicts evergreen plantings to serve as screen for the adjoining residential properties. The lots to the east are undeveloped and consist of wooded and wetland areas. A useable common open space is provided between the proposed building and the existing building to the west. Multi-family structures are located further west across 5th Street. An existing multi-family dwelling and associated parking area is located directly north of the subject site.

The proposed building is located to the rear of the existing building as viewed from the 5th Street right-of-way to the west. As such the pedestrian environment as viewed from 5th Street would largely remain unchanged.

Open Space

- *154.008(C)(6)(b)(ix) Preliminary PUD Review and evaluation criteria. (C) A sufficient amount of usable open space is provided.*
- *154.008 (C)(4) PUD General Standards (n) Open space. Common open space shall be either held in common ownership by all owners in the PUD or dedicated for public use with approval of the City Council. Whenever possible, common open space shall be linked to the open space areas of adjoining developments. Common open space shall be of such size, shape, character, and locations as to be useable for its proposed purpose.*
- *154.010(B)(1)(b) Residential Open Space. Multiple Family. Each lot shall contain at least 250 square feet of usable open space for each unit.*

Since open space will be shared, staff evaluated the existing multi-family building as well as the proposed building for the applicable requirements. A minimum of 250 square feet of open space is required per unit for multiple family dwellings. The 10 total units (6 new units being constructed and 4 existing on the 2120 5th. St. N. site) require 2,500 square feet of usable open space.

The area between the existing building and the parking area is identified as open space. This open space area is 3,195 sq. ft. in size and is primarily planted with sod. It is unclear what the intended use of the space is, but it is accessible to all residents. The Final PUD must include information demonstrating that the open space is “graded, developed, landscaped and equipped, intended and maintained for active and/or passive recreation, available and accessible to and usable by all persons” per usable open space standards.

Usable open space is defined as: A required area on a lot which is graded, developed, landscaped and equipped, intended and maintained for active and/or passive recreation, available and accessible to and usable by all persons. Such area and improvements include: ground areas, terraces, balconies, decks, rooftops, outdoor swimming pools, outdoor seating areas, patio area, game area, landscaped and grassy areas, gardens, sculpture gardens, recreational facilities, pedestrian paths and trails or similar outdoor fixtures or features, and water. Public parks or plazas within 300 feet of the site may be used to meet this requirement.

The PUD Ordinance does not specify a minimum area required for common open space which is to be used for active or passive recreational purposes. However, as noted above an area of open space is located between the existing building and the parking area. This area would be held in ownership by the applicant

The Ramsey-Washington Metro Watershed District, the Local Government Unit administering wetlands in the City of North St. Paul, has determined that since the site is less than an acre, wetland buffer requirements are not applicable.

Drainage/Natural Resources

- *154.010(D)(27) Multi-family Supplemental Standards. (b) Drainage. Drainage shall be provided as required consistent with the city and Watershed District requirements. Any required NURP ponds shall be integrated into the overall plan and proper easement and maintenance agreements shall be provided.*
- *154.010(F) Landscaping Standards (9) Drainage, access & utility easements. No landscape material other than grass, or retaining walls, shall be placed within a drainage, access or utility easement. Rock or riprap may be allowed upon review and approval by the Zoning Administrator provided the proposed material does not interfere with drainage, access or utilities.*

The impervious surface runoff is captured by the proposed storm sewer system including a sump catch basin which is directed to a depressed area in the northeast portion of the property prior to discharge into the existing wetland. A portion of the roof drainage from the proposed apartment building drains to a vegetated area prior to discharge into the wetland as well. The City Engineer provided comments on the stormwater management plan below.

The landscaping plan shows plantings in the vacated Burke Avenue right-of-way, which contains a drainage and utility easement. The plantings must be relocated from these areas.

Landscaping

- *154.008 (C)(4) PUD General Standards (j) Landscaping. In any PUD, the developer shall prepare and submit a landscaping plan as a part of the Final Plan, which shall include a detailed planting list with sizes and species indicated to be approved by the City Council. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structures and the overall scheme of the PUD plan.*

- *154.010(F)(3) Tree requirements. (a) Number of trees. (iii.) MU-2 and MU-3 Districts. Whichever is greater: one tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter.*
- *154.010(F)(4) Landscape coverage. All residential district properties are encouraged to have diversified landscaping in addition to the landscaping required in setback areas for free-standing, detached structures. All landscaped areas are encouraged to be developed with live deciduous and coniferous plants, grass, trees, and shrubs which provide a variety of color, texture, height, and forms consistent with the needs of the site and other elements of the plan. The landscaped areas may contain, but not limited to, some decorative stones, wood, patio blocks, sculptures, and other appropriate ornamental features. Overall composition and location of landscaped areas shall complement the scale of the development and its surroundings. In general, larger, well-placed contiguous planting areas shall be preferred to smaller, disconnected areas. The following zoning classifications will have the following percentage of the lot landscaped: (b) R-2 District. All areas, except for buildings, driveways and approved parking areas, shall be landscaped as described above. Landscaping may include retaining the natural landscape where appropriate. At least 50% of the front yard must be landscaped.*
- *154.010(F)(5) Required yards and setbacks.*
 - (a) All developed uses shall consist of, but not limited to, a landscaped yard, including grass, plantings, decorative stones, trees and shrubs, along all streets.*
 - (b) Except for driveways, the yard shall extend along the entire frontage of the lot, and along both streets in the case of a corner lot, such yard shall have a depth of at least ten feet.*
 - (c) Required yards and setback areas, except driveways and areas used for accessory structures, shall be graded to final elevations and sodded or seeded and landscaped with grass, plantings, decorative stones, trees and shrubs.*

A landscaping plan was submitted and provides the required details. The parcel containing the proposed building is zoned MU-3, contains 466 ft of site perimeter, and has 6,500 sq. ft. of building area. This equates to a total of 9 required trees. The landscaping shows that 3 ‘prairie fire’ crabapples, 5 Japanese lilac, and 6 black hills spruce trees.

As shown on the landscaping plan, areas not containing the building, sidewalks, driveway, or parking spaces will consist of sod, planting areas, or will be maintained as wetland. The applicant indicates that this area is 3,751 sq. ft. in size or 30% of the site area. An existing landscaped yard is provided between the existing building and the 5th Street frontage with the exception of the existing and proposed driveways.

The landscaping plan shows black hills spruce plantings within the public alley to the south of the site, and plantings within the vacated Burke Avenue right-of-way, which contains a drainage and utility easement. These plantings must be relocated outside of the public right-of-way and easement areas and within the property owned by the applicant.

Screening

- 154.010 (A) Development Standards (12) Storage of trash. (a) Residential uses. There shall be no front yard storage of trash or trash containers except in the 24 hour period prior to a scheduled pickup in residential districts.
- 154.010(D)(27) Multi-family Supplemental Standards. (c) Projecting air conditioning and heating units. Air conditioning or heating units shall not project through exterior walls or windows unless located behind a balcony and screened from view.
- 154.010(D)(27) Multi-family Supplemental Standards. (d) Transformers. If located outside, shall be screened from view.
- 154.010(E)(3) General Architectural requirements. (a) Equipment and service area screening. If an outdoor storage, service or loading area is visible from adjacent residential uses or an abutting public street or public walkway, it shall be screened by a decorative fence, wall or screening of plant material at least six feet in height. Fences and walls shall be architecturally compatible with the primary structure.

The site plan shows a 4 ft. by 18 ft. refuse storage area located between the proposed building and the vacated Burke Ave right-of-way. Air conditioning condenser units at the rear of the building. These are not window units and would be screened by landscaping along the rear property line. The utility plan does not show any external transformers. If transfers are to be placed outside, they must be screened from view and shown on a revised utility plan prior to construction.

Lighting

- 154.010(A) Development Standards (7) Outdoor lighting. All outdoor lighting shall be directed away from adjoining property and from the street unless globe lighting is used. Bare incandescent light bulbs shall not be permitted in view of adjacent property or the public right-of-way, except decorative holiday lights having 7.5 watts or less. No exterior lighting shall exceed 0.4 foot candles at the lot line. Yard lights shall not be closer than five feet from the property line, provided the direct source of light is not visible from the public right-of-way or adjacent residential property.

At this time no exterior lighting is proposed. If exterior lighting is proposed, a lighting plan needs to be submitted.

Streets and Sidewalks

- 154.008 (C)(4) PUD General Standards (i) Street width. Requirements outlined in the subdivision ordinance for street widths may be relaxed depending on the number of off-street parking locations and the anticipated density in the planned unit development. The Planning Commission, City Engineer and city's Emergency Services (Fire, Ambulance and Police) shall review each planned unit development to determine street width requirements.
- 154.010(A) Development Standards (21) Pedestrian circulation. Sidewalks or other designated pedestrian ways shall be clearly indicated and provided for the safety of pedestrians within nonresidential and mixed-use districts.

- 154.010(A) Development Standards (22) Sidewalks and trails. Complete plans shall be provided for proposed sidewalks and trails to serve parking, recreation and service areas within developments and to link to the city's system.
- 154.010(E)(3) General Architectural requirements(e) Pedestrian ways. Buildings shall be designed with proper provision and orientation for a pedestrian system to serve and link development.

No new public streets are included in this PUD proposal. The site plan shows sidewalks connecting the front of the new building to the parking area. No additional new sidewalks or linkages are proposed; however, this area of the City does not have sidewalks.

Parking

- 154.008 (C)(4) PUD General Standards (h) Parking. Off-street parking and loading space shall be provided in each PUD in the same ratios for types of buildings and uses as required in the underlying zoning district.
- 154.010(A) Development Standards (23) Underground parking. When appropriate, buildings are encouraged to provide for inside, usually underground, parking at a ratio of at least one space per dwelling unit within mixed-use districts.
- 154.010(A) Development Standards (24) Bicycle storage. When appropriate, buildings are encouraged to provide for bicycle storage in the building storage room or similar place of at least a ratio of one space per dwelling unit within mixed-use districts.
- 154.010(J)(3) General Parking Standards. (a) Minimum size regulations. Each space shall contain a minimum area of not less than 180 square feet, exclusive of access drives, a width of not less than nine feet and a depth of not less than 20 feet. Each space shall be adequately served by access drives as determined by the Zoning Administrator. All loading spaces shall be sufficient to meet the requirements of each use and shall provide adequate space for storage and maneuvering of the vehicles they are designed to serve. Parking ramps and underground parking may be allowed to have some reduction in the dimensions stated above.
- 154.010(J)(10) Off-street parking standards for non-residential districts. (d) Parking lots should be screened from streets and sidewalks by planters or plantings or both. If planters are used, their material should be compatible with adjacent buildings. Planters should be at least 18 inches high.
- 154.010(J)(10) Off-street parking standards for non-residential districts. (e) MU-3. Off-street parking may be reduced where it can be demonstrated that such reduction is justified due to joint use of facilities for dissimilar uses, provisions for transit facilities or other factors having impact on parking demand and capacity.
- 154.010(J)(10) Off-street parking standards for non-residential districts. (f) Parking lots and structures. Such parking shall be screened from view, integrated within the buildings or provided underground, where appropriate.
- 154.010(J)(10) Off-street parking standards for non-residential districts. (g) Required number of off-street parking spaces. The minimum number of required off-street parking spaces are located in Table 8.
- (h) Yards. Off-street parking and loading facilities shall be subject to the front yard, side yard, and rear yard regulations for the use district in which the parking is located, except

in the MU-1, MU-2, and MU-3 Districts, yard setbacks may be reduced if a substantial landscape setback is provided having a width meeting at least the minimum specified.

- **154.010 (J)(7) Bicycle parking.**

(a) New development. Bicycle parking shall be provided for all new commercial, industrial, community service use, and multifamily residential development.

(b) Number of spaces. The number of bicycle parking spaces shall be at least 10% of the minimum required vehicle parking for the use. In no case shall less than two spaces be provided.

(c) Location of facilities. Bicycle parking facilities shall be located within 50 feet of the main building entrance in a location that is visible to building occupants of from the main parking lot.

(d) The public right-of-way may be utilized for bicycle parking when parking cannot be reasonable accommodated on the site and the location is convenient to the building's front entrance.

(e) The minimum amount of required parking for all non-single-family residential uses may be reduced by up to 10% for the provision of bicycle parking. A reduction of one vehicle parking space is allowed for every six additional bicycle parking spaces installed. The area of an existing parking space in an off-street parking area may be converted to bicycle parking to utilize this reduction.

Use	Requirement	Proposed
Multiple Family Dwelling Residential- Family Living	2 per dwelling unit. 6 units (new) and 4 units (existing) @ 2 per unit = 20	6 existing, 14 new; 20 total

The applicant is pursuing a PUD for the project in order to provide flexibility with regard to the location of the parking areas primarily serving the proposed multi-family structure. Portions of the additional parking area would be located on the property with the existing structure and in doing so creates a central open space for residents of both buildings and lessens conflict with the wetland areas. As such, the location of the parking area would conflict with the 25 ft required front yard setback area from the Burke Avenue right-of-way frontage. Through approval of a PUD variation with regard to setback requirements can be granted. However, given that there are two parcels containing the parking area, staff recommends a condition of approval requiring that an access and parking easement be in place in the event that one of the properties changes ownership.

Since the parking area is shared, staff evaluated the existing and proposed uses against the off-street parking standards. Two spaces per dwelling unit are required, or a total of 20 spaces for the existing and proposed structures. Fourteen new spaces are proposed, combining with the six existing spaces for a total of 20 spaces. The existing and proposed surface parking areas would provide a sufficient number of stalls for the 10-units on both parcels. The revised utility plan shows that the existing garage will be removed, and a concrete surface will remain in its place – however no proposed parking stalls are shown in this area. Underground parking is not provided; however, staff does not find it to be necessary for this scale of development.

Each of the proposed parking stalls is 9 ft in width by 20 ft in length. The proposed access to each stall is 20-foot wide drive aisle which is sufficient for the low volume of passenger vehicle traffic.

The surface parking areas are largely unscreened from the public right-of-way and adjoining properties. The property to the north has the most direct sight line to the proposed parking area. This property also contains a multi-family residential use and has an unscreened parking area that abuts the subject site.

An area for bicycle storage is identified in the area near the entrance of the proposed building's entrance which contains 6 spaces. Since the new building is within the MU-3 Zoning District, a minimum of 6 spaces are required.

Access and Circulation

- 154.008(C)(6)(b)(ix) *Preliminary PUD Review and evaluation criteria. (B) The interior circulation plan plus access from and onto public rights-of-way does not create congestion or dangers and is adequate for the safety of the project resident and the general public.*
- 154.010(D)(27) *Multi-family Supplemental Standards. (a) Access. No access shall be located within 50 feet of a public street corner.*
- 154.010(F) *Landscaping requirements (8) Traffic visibility. In order to provide a clear view of intersecting streets to motorists, a triangular area of clear vision formed by the two intersecting streets and driveways and a line connecting said centerlines, shall be kept clear of visual obstruction, as specified below.*
 - (a) *Within any vision clearance triangle, screening, plantings, walls, fences or other obstructions are not permitted between a height of 30 inches and ten feet above the curb level, with the exception of fences with a maximum of three feet in height and at least two-thirds open to vision.*
 - (c) *At the intersection of a private drive or alley with a street, the line shall extend a minimum of ten feet from the intersection of the street and alley or drive property lines.*
- 154.010(J)(3) *Off street parking & loading (e) access. (i) Parking and loading space shall have proper access from a public right-of-way as determined by the Zoning Administrator. (ii). The number and width of access drives shall be so located as to minimize traffic congestion and traffic hazard.*

The new multi-family building would be accessed via a new driveway off of 5th Street within the vacated Burke Avenue right-of-way. The new access is provided in excess of 50 feet of a public street corner. An existing access off of 5th Street that currently serves the 4-unit building would remain. The 20-foot width of the access drive is sufficient for the low volume passenger vehicle traffic to be expected from this size of development. Per the City's engineering review, the applicant must provide additional details on turning movements for emergency vehicles and garbage trucks in order to fully evaluate whether adequate circulation is provided.

Lilac trees are shown near the intersection of the proposed driveway and 5th Street. In this location, they would be located within the vacated Burke Ave right-of-way, which contains a drainage and utility easement. As such, these plantings will need to be relocated out of the

easement area. Additionally, these plantings are likely within the vision clearance triangle, they would have to maintain visibility between 30 inches and 10 feet.

Development Process and Timeframe/Phasing

- 154.008(C)(6)(b)(ix) *Preliminary PUD Review and evaluation criteria. (G) The development schedule insures a logical development of the site which will protect the public interest and conserve land.*
- 154.008(C)(4) *PUD General Standards (m) Development agreement. Prior to the issuance of a building permit as part of the PUD, the permit applicant, builder, or developer shall execute and deliver to the City Council a development agreement for the PUD.*

The applicant states that the project would move forward as a single phase. The development agreement will be developed with the applicant to the satisfaction of the City Attorney as is required for Final PUD approval. The City Council must approve any development agreement.

Engineering Comments

1. Show existing sewer and water services on the utility plan.
2. Full width pavement restoration is required on 5th Street North in the location of the sewer and water connections.
3. Show proposed surface restoration at proposed sewer and water service locations.
4. At the proposed driveway location, show remove and replace curb and call out a commercial driveway apron. Add apron detail to plans.
5. The applicant provided turning movements but a) did not identify the type of vehicle the movements were for and does not appear to be an aerial truck, b) the proposed turning movement is show beyond the edge of pavement with no explanation; c) does not meet the minimum 60' distance on the east end from the center of the perpendicular driving lane per state fire code; and d) the turning radius should be shown for the inside edge/curb/path and not the outside wheel path.
6. The applicant is responsible for obtaining all necessary permits for the project from both the City and applicable outside agencies.
7. Provide additional easement for the proposed utility services crossing the adjacent/existing property.
8. The plans propose having a retaining wall within 4' of the edge of pavement on the east side of the parking area with as much as a 2.4' drop adjacent to the trash enclosure. Provide a physical barrier to limit cars from going over the wall.

Stormwater:

1. Maintain a minimum grade of 0.4% on the 12" storm pipes to maintain at least 3fps velocity.
2. Landscaping is not allowed in the drainage and utility easements or alley right of way.
3. Wetland buffers are to be restored per watershed district approvals.

MU-3 vs R-3 Zoning

At the November 7th Planning Commission meeting, members discussed the current zoning of the property and if it was the most appropriate designation for the use. As previously noted, multi-family dwellings are listed as a permitted use in the MU-3 District and are a permitted use in the R-3 district as well. The matrix below identifies the areas in which the Zoning code would have differing requirements for the proposal if it were zoned R-3 as opposed to MU-3. In general, a greater number of requirements apply to the proposal within the MU-3 district. Since the use is accommodated in the existing zoning district, staff does not find it necessary for the site be rezoned for the proposal. Furthermore, although a range of commercial uses are allowed in the MU-3 district any subsequent change of use of the site would have to be reviewed as an amendment to the PUD.

MU-3	R-3
1540.006(C)(3) Lot Requirements	1540.007(C)(3) Lot Requirements
[lot area] 35,000 sq. ft.	[lot area] 1,980 sq. ft. per dwelling unit Required total lot area shall not be less than the minimum lot area per dwelling unit multiplied by the number of units. Senior Housing: 1,800 sq. ft. per dwelling unit Institutions: 10,000 sq. ft. Manufactured Houses (Home Parks): 5,000 sq. ft. per dwelling unit
[lot width] 120 ft.	[lot width] 80 ft.
[front yard setback] 25 ft.	[front yard setback] 25 ft.
[rear yard setback] 0 ft.	[rear yard setback] 25 ft.
[side yard setback] 0 ft.	[side yard setback] Internal Lot: 15 ft. Corner Lot: 15 ft.
[height] Five (5) stories or 55 ft.	[height] Three (3) stories or 35 ft.
	[lot coverage] 50%
	[density] High (7.4 - 22 units/acre)
	[livable floor space] Multiple Family: Efficiency Unit: 400 sq. ft. One Bedroom: 550 sq. ft. Two Bedroom: 700 sq. ft. Three Bedroom: 850 sq. ft. Four Bedroom: 1000 sq. ft. Two Family: 900 sq. ft.

MU-3	R-3
	[surfacing in front yard] 40%
154.010(A)(11) Fences and Walls	
(b) Nonresidential or mixed-use districts. i. Fences shall not be allowed, unless absolutely necessary for a functional reason and requires approval of the Zoning Administrator or when otherwise specifically allowed within the supplemental regulations. When allowed, only decorative fencing material shall be used such as painted wrought iron or anodized metal fencing.	(c) Residential districts. i. Materials. Materials shall be compatible with the residential character of this district. Decorative wood and wrought iron fences are preferred. Prohibited materials are: chicken wire, barbed wire, plastic webbing or netting, snow fences and fences made of makeshift, flimsy materials or other materials which are made from paper, twine, rope, tin and the like (except when used during construction or for traffic control or police security).
154.010(A)(21) Pedestrian circulation.	
Sidewalks or other designated pedestrian ways shall be clearly indicated and provided for the safety of pedestrians within nonresidential and mixed-use districts.	
154.010(A)(23) Underground parking.	
When appropriate, buildings are encouraged to provide for inside, usually underground, parking at a ratio of at least one space per dwelling unit within mixed-use districts.	
154.010(A)(24) Bicycle Storage.	
When appropriate, buildings are encouraged to provide for bicycle storage in the building storage room or similar place of at least a ratio of one space per dwelling unit within mixed-use districts.	
154.010(F)(3) Tree requirements.	
iii. MU-2 and MU-3 Districts. Whichever is greater: one tree per 1,000 square feet of gross building floor area or one tree per 50 lineal feet of site perimeter	ii. Townhouse and multiple family uses. Residential structures containing two or more units shall contain as a minimum: one tree per dwelling unit.
154.010(F)(4) Landscape coverage.	
(e) MU-2 and MU-3 Districts. All areas, except for buildings, driveways and approved parking areas, shall be landscaped as described above. Where possible, a minimum of 2% of the site may provide for diversified landscaping that allows infiltration of stormwater. Screening shall be provided and established to protect and screen abutting residential district.	(c) R-3 District. All areas, except for buildings, driveways and approved parking areas, shall be landscaped as described above. This includes retaining the natural landscape where appropriate. Screening shall be provided and established to protect and screen potential functional, use or density incompatibilities, including those related to streets, county, state roads and parking lots.

MU-3	R-3
154.010(J)(10) Off-street parking standards	154.010(J)(9) Off-street parking standards
[location] (a) Shared parking. Up to 50% of the parking can be provided through a nonexclusive agreement with the owners of property located within 600 feet of the use if the parking demands of the uses do not coincide.	[location] (a) Truck or bus parking in residential districts. Off-street parking of commercially licensed trucks, trailers or buses with a gross weight of over six tons shall be prohibited, except for deliveries or unloading. Trucks, trailers or buses of less than six tons gross weight shall not be stored in the front yard. (b) Vehicle storage. All vehicles personal, recreational, or commercial shall be stored or parked on a driveway surface. (d) Location of parking. Required off-street parking spaces shall be provided on the same lot. (e)v. Parking. Vehicles parked in a driveway or other area are not allowed to extend or encroach upon the alley or street right-of-way or public sidewalk.
[screening] (d) Parking lots should be screened from streets and sidewalks by planters or plantings or both. If planters are used, their material should be compatible with adjacent buildings. Planters should be at least 18 inches high.	
[number] (g) Required number of off-street parking spaces. The minimum number of required off-street parking spaces for the following uses shall be as indicated on Table 8. Where a specific use is not listed, the Zoning Administrator shall determine the minimum number of required off-street parking spaces by considering functional similarities between uses listed and the use not listed.	[number] (e)(iv.) Required number of off-street parking spaces. The minimum number of required off-street parking spaces are located in Table 8.
[setbacks] (h) Yards. Off-street parking and loading facilities shall be subject to the front yard, side yard, and rear yard regulations for the use district in which the parking is located, except in the MU-1, MU-2, and MU-3 Districts, yard setbacks may be reduced if a substantial landscape setback is provided having a width meeting at least the minimum specified.	[setbacks] (c) Setbacks. New driveways and off-street parking shall be set back a minimum of three feet from side property lines.

MU-3	R-3
	[driveways] (e) Driveways, authorized parking areas, and authorized garages. i. Driveways must lead to and abut a vehicle access door having a width of at least eight feet. Driveways must not exceed a 22 foot maximum width at the property line. ii. Existing driveways which do not lead to an authorized parking area or authorized garage must be removed and landscaped. iii. Existing driveways which provide access to an authorized parking area or garage shall be improved/surfaced according to this section; however, if the driveway leads to an unpaved street or alley, a waiver to the surface requirement will be considered by the city upon receipt of a written request explaining the reason and justification for this request. vi. Driveways located on a corner lot shall be set back a minimum of 15 feet from the corner of the two streets fronting the lot.

RECOMMENDED ACTION

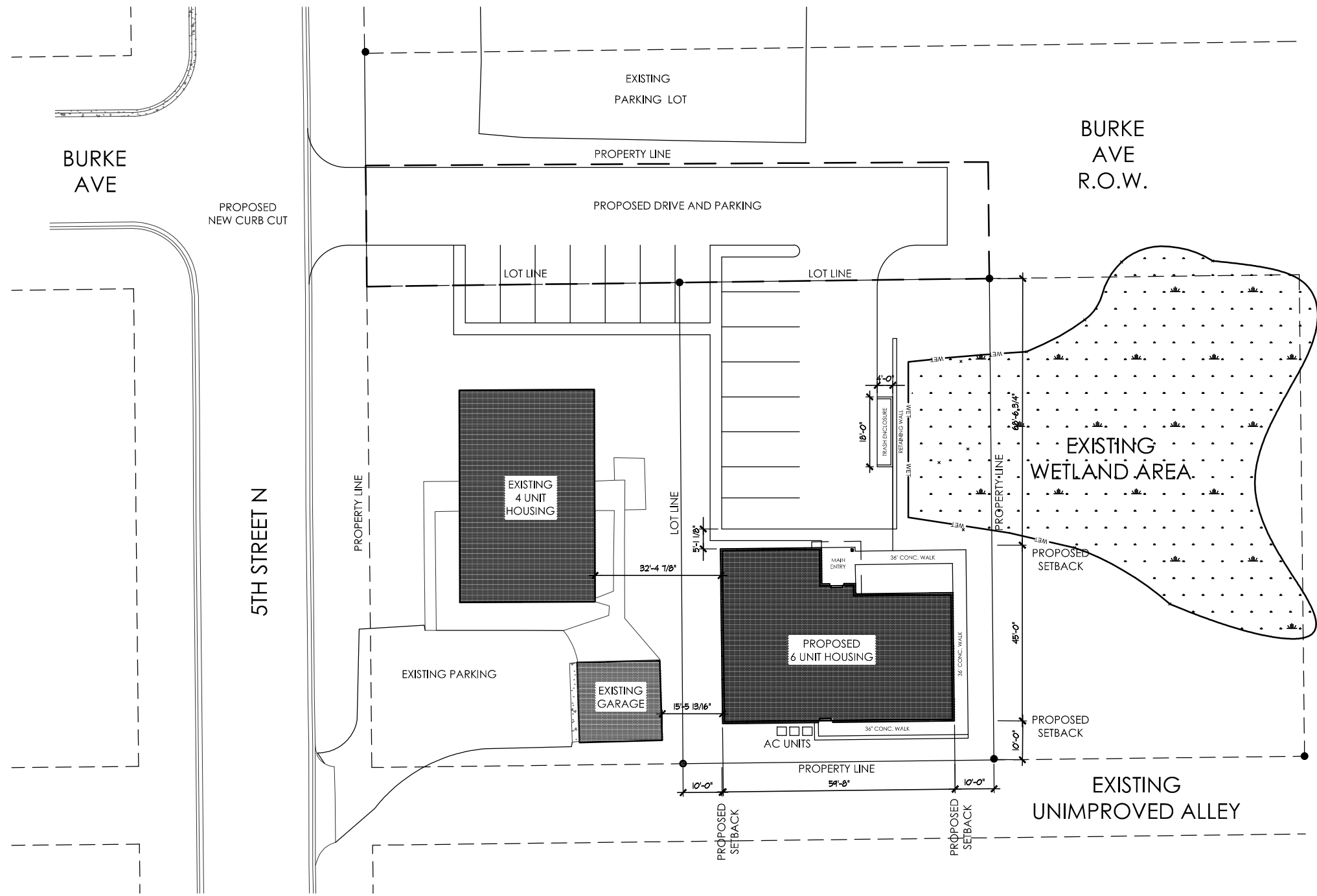
Based on the findings described in this report, staff recommends the following actions:

Conditional Approval of the proposed Preliminary Residential Planned Unit Development (PUD) subject to the following conditions of approval:

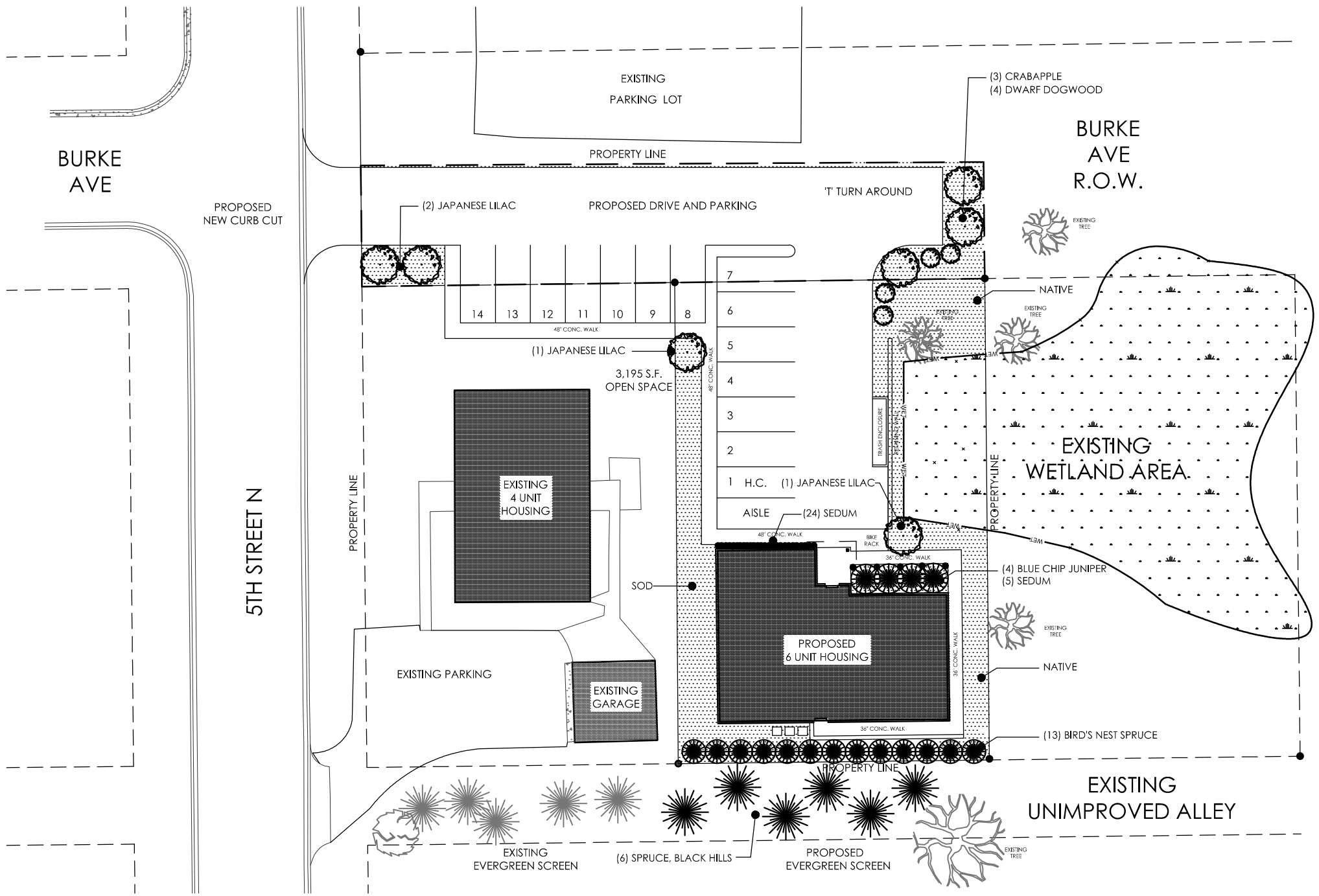
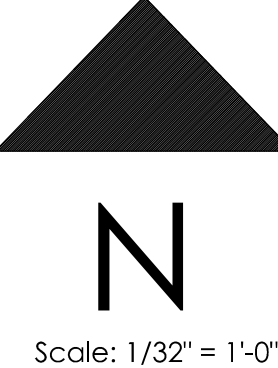
- a. Execution and recording of a perpetual shared access and parking easement benefiting the property at 0 Burke Avenue.
- b. Show existing sewer and water services on the utility plan.
- c. Full width pavement restoration is required on 5th Street North in the location of the sewer and water connections.
- d. Show proposed surface restoration at proposed sewer and water service locations.
- e. At the proposed driveway location, show remove and replace curb and call out a commercial driveway apron. Add apron detail to plans.
- f. Modifications to the site plan to address the City Engineer's Comments regarding the vehicle turnaround.
- g. The applicant is responsible for obtaining all necessary permits for the project from both the City and applicable outside agencies.
- h. Provide storm sewer sizing calculations for onsite storm sewer.

- i. Provide drainage and utility easements over the side yard swale to the south side of the site.
- j. Wetland buffers are to be restored per watershed district approvals.
- k. Any utilities not shown on the plan would have to be screened or located underground and would have to be shown on a revised utility plan and submitted for review prior to construction.
- l. A Developer's Agreement must be developed with the City Attorney and submitted with the final PUD
- m. If exterior lighting is proposed, a lighting plan must be submitted.
- n. Relocation of the plantings within the utility and drainage easement in the vacated Burke Avenue right-of-way.
- o. Plantings must be relocated so that the portion of the proposed parking area visible from the street is screened using plantings locations outside of easement areas.
- p. Additional detail must be provided on the intended use of the open space areas to demonstrate conformance to the Usable Open Space standards.
- q. If transfers are to be placed outside, they must be screened from view and shown on a revised utility plan prior to construction.
- r. Additional information regarding snow storage must be provided for review with the final PUD submittal.
- s. All fire access and hydrant locations must be approved by the Fire Chief on the final PUD.

REVISED 9-20-19

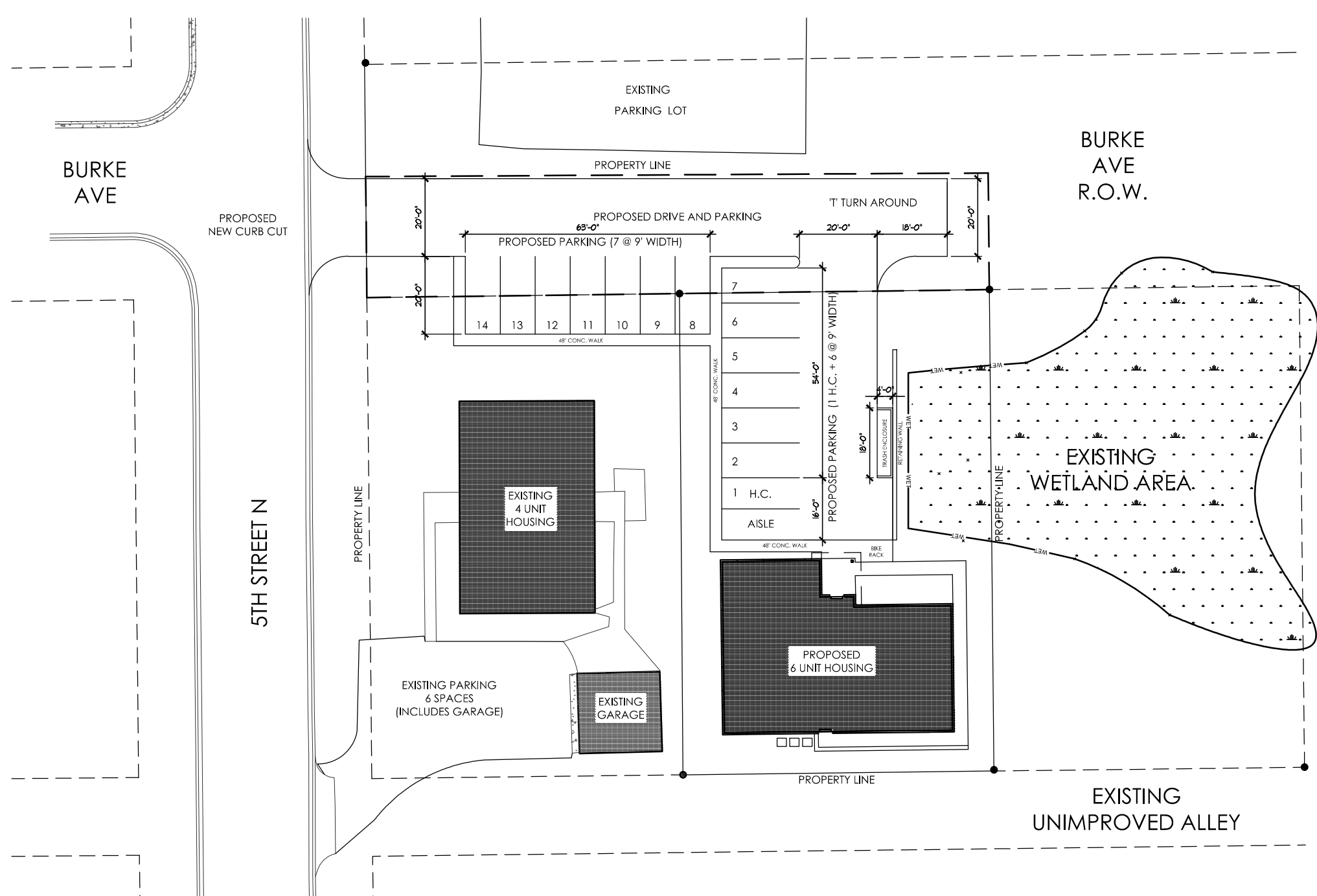


BUILDING/SETBACKS

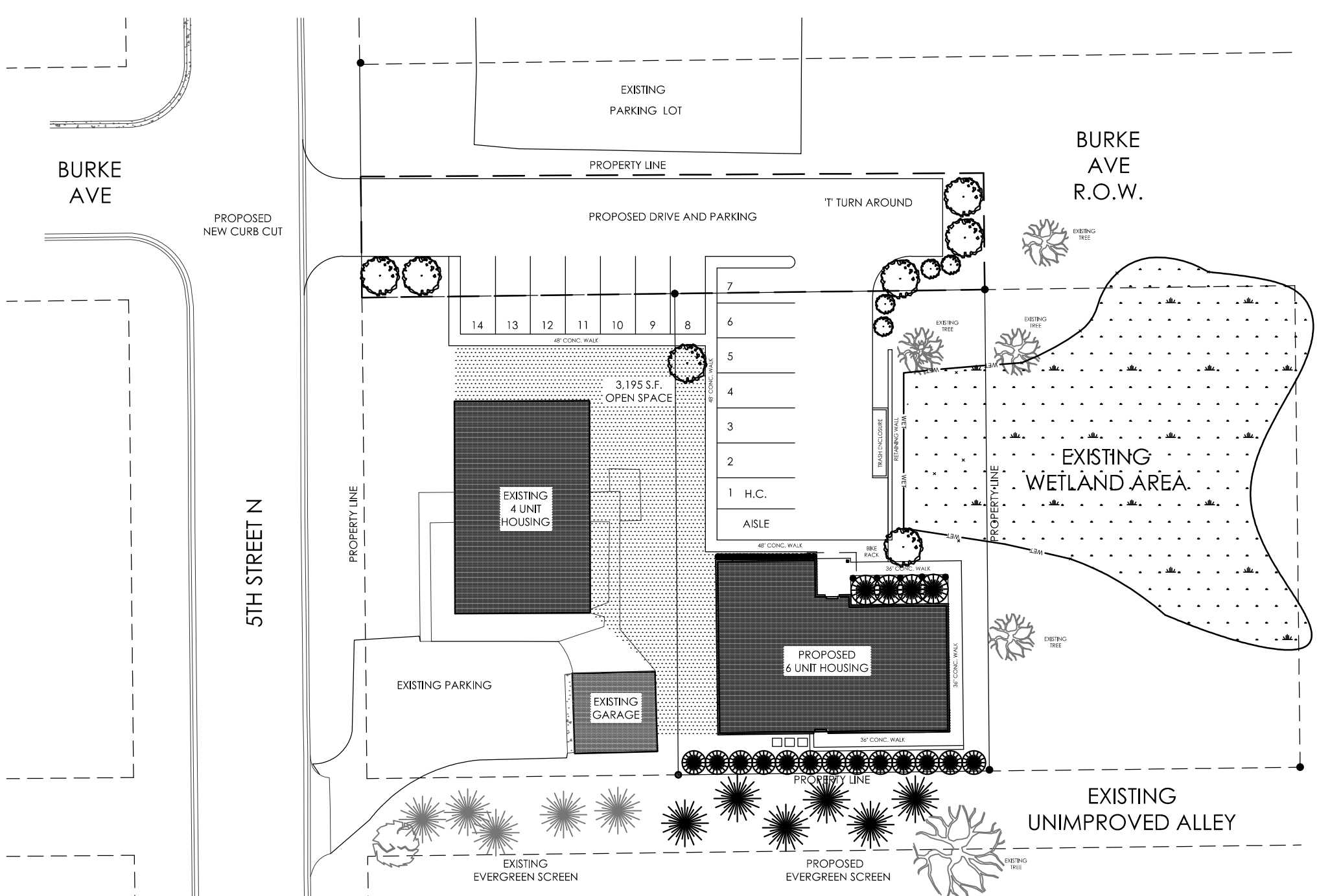
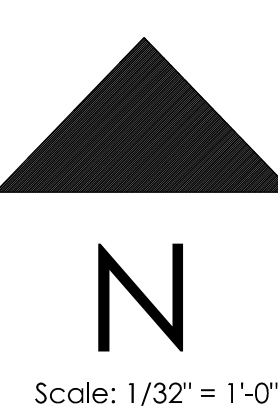


LANDSCAPE

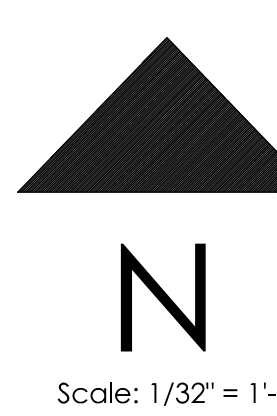
QUANTITY	NAME	SITE	REMARKS	MATURE SIZE
4	SHAW RED-THROATED DOGWOOD - (CORNUS SERICEA BAEYI - RED DOG)	24\"	6\"-0\" SPACING, 8 & 8	30\" H & 30\" W
13	BIRD'S NEST SPRUCE - (PICEA ABIES 'NIDIFORMIS')	24\" POT	6\"-0\" SPACING, 8 & 8	40\" H & 40\" W
4	BLUE CHIP JUNKER - (JUNIPERUS HORIZONTALIS)	24\" POT	6\"-0\" SPACING, 8 & 8	12\" H & 12\" W
29	SEDUM - AUTUMN JOY	TOPSEED	1\"-0\" O.C. TYP. RED SEDS VARY	3\" DIA.
3	CRABAPPLE - (MALUS 'PRAIRIE FIRE')	4\" CAL.	8 & 8	20\" H & 15\" W
5	JAPANESE LILAC - (SYRINGA RETICULATA)	4\" CAL.	8 & 8	22\" H & 18\" W
6	SPRUCE, BLACK HILLS - (PICEA DENSATA)	8\"-0\" HT.	8 & 8	40\" H & 22\" W



PARKING



OPEN SPACE



ADDRESS: 0 BURKE AVENUE

ZONING: R-3 Existing Units, MU-3 Proposed Units

PERMITTED USE: Residential Multi-Family

PROPOSED USE: Residential Multi-Family

MAX HEIGHT: 55' (MU-3)

PROPOSED HEIGHT: 38' MAX (TO PEAK)

MINIMUM FRONT SETBACK: 25'

PROPOSED SETBACK: N/A

MINIMUM SIDE SETBACK: 0'

PROPOSED SETBACK: 10'-0\"

MINIMUM REAR SETBACK: 0'

PROPOSED SETBACK: 10'-0\"

LOT AREA: 24,713 SF

(9,929 SF EXISTING LOT + 9,889 SF NEW LOT + 4,895 SF VACATED)

EXISTING BUILDING AREA: 3,794 SF (2 FLOORS)

EXISTING GROSS BUILDING AREA PER FLOOR: 1,897 SF

EXISTING GARAGE AREA: 438 SF

PROPOSED NEW BUILDING AREA: 6,531 SF (3 FLOORS)

PROPOSED GROSS NEW BUILDING AREA PER FLOOR: 2,177 SF

PROPOSED OCCUPIED GROSS BUILDING AREA PER FLOOR: 1,999 SF

PROPOSED OCCUPANCY TYPE: R-2

PROPOSED CONSTRUCTION TYPE: V-A (1 HOUR)

PROPOSED BUILDING TO INCLUDE SPRINKLER SYSTEM: NFPA 13R

EXISTING HOUSING UNITS: 4 UNITS

PROPOSED NEW HOUSING UNITS: 6 TOTAL UNITS (2 UNITS PER FLOOR)

(ACCESSIBLE UNITS - 2 TYPE 'B' UNITS, MAIN LEVEL)

PARKING REQUIRED: 2 SPACES PER UNIT x 10 TOTAL UNITS = 20 SPACES

EXISTING PARKING: 6 SPACES

PROPOSED NEW PARKING: 14 SPACES (13 STD + 1 ACCESSIBLE)

USABLE OPEN SPACE REQUIRED: 250 SF PER UNIT = 2,500 SF

PROPOSED OPEN SPACE: 3,195 SF

(NOT INCLUDING REQUIRED YARD SETBACK AREAS)

LANDSCAPING AND SCREENING:

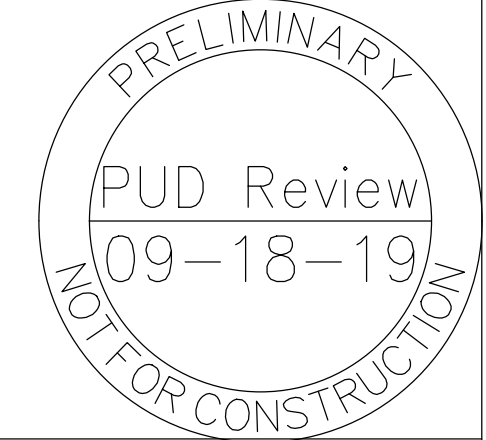
PROPOSED LANDSCAPED AREA: 3,751 SF

(INCLUDES WETLAND AREA)

TREES - 11 PER 50 LINEAL FT SITE PERIMETER = 8.2 TREES

(410 LIN FT PROPOSED SITE PERIMETER)

SCREENING - REQUIRED AT SOUTH PROPERTY LINE/R-3 ZONING



CUNDY, SANTINE & ASSOCIATES
ARCHITECTS

3434 LEXINGTON AVENUE NORTH
SHOREVIEW, MN 55126
651-490-5454
www.cs-architects.com

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Architect under the laws of the State of Minnesota.

Name: James L. Graham, AIA

Signature: _____

Date: 4-4-2019

Reg. No. 24207

PROPOSED SITE INFORMATION

PROJECT NO: _____

DATE: _____

REVISIONS: _____

SHEET NO. A0.1 OF 1

PROPOSED 6 PLEX

0 Burke Avenue

North St. Paul, MN

DATE: SEPTEMBER 26, 2019

[illegible]



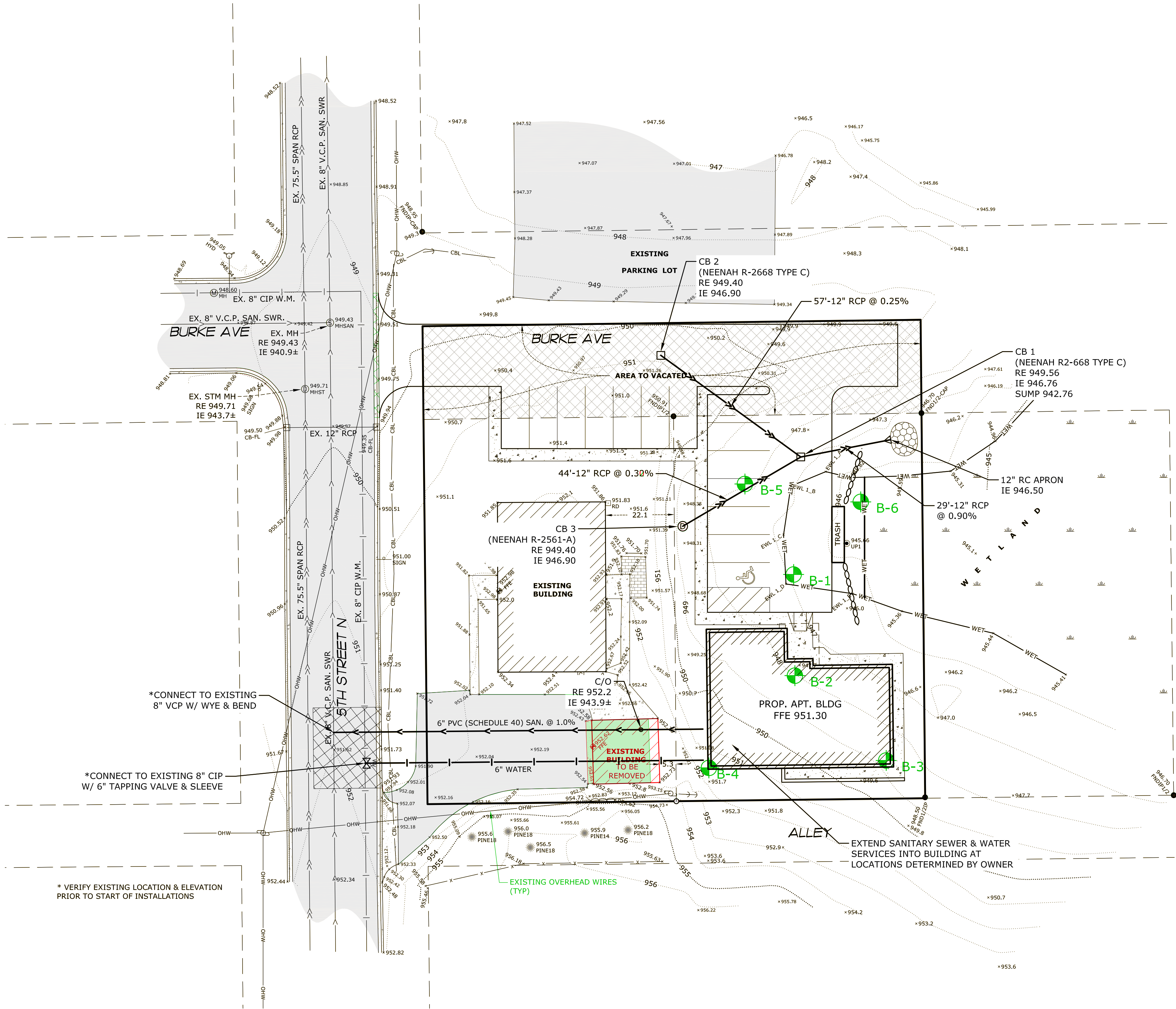
C3

155 of 156

S:\Drawings\811\811-1803 N ST PAUL APARTMENT BLDG\811-1803 CAD\811-1803 BASE.dwg 8/17/2019



Know what's below.
Call before you dig.



STORM SEWER NOTES

FIELD VERIFY SIZE, ELEVATION, AND LOCATION OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY INSTALLATIONS.

WHEN CALLED OUT AS PIPE, STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ANSI C76 WITH R-4 GASKETS OR, IF ALLOWED BY CITY, HDPE PIPE MAY BE USED. (SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED.) HDPE PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S WITH WATERTIGHT CONNECTIONS. USE SAND/GRANULAR MATERIAL FOR BACKFILLING AND COMPACTION OF HDPE/PVC PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM 2321.

STORM SEWER LENGTHS INCLUDE THE LAYING LENGTH OF THE FLARED-END SECTION. LAYING LENGTH OF APRON TO BE DEDUCTED FROM PAYMENT LENGTH OF PIPE.

ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.

STORM SEWER PIPES TO BE JOINED TO THE CATCH BASIN MANHOLES W/ APPROVED RESILIENT RUBBER JOINTS TO MAKE THEM GASTIGHT OR WATERTIGHT. CEMENT MORTAR JOINTS ARE PERMITTED ONLY FOR REPAIRS AND CONNECTIONS OF EXISTING LINES CONSTRUCTED WITH SUCH JOINTS.

DRAWN BY:	DESIGN BY:
C.M.	C.W.P.
CHKD BY:	PROJ. NO.
C.W.P.	18-1803
ORIGINAL DATE:	
AUGUST 6, 2019	
DATE	
REVISION DESCRIPTION	
9/26/19 CITY COMMENTS	
11/19/19 PLANNING COMMISSION COMMENTS	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Charles W. Plowe
CHARLES W. PLOWE
DATE: 08.16.2019 LIC. NO. 16227

BURKE AVENUE APARTMENT BUILDING
NORTH ST. PAUL, MINNESOTA
UTILITY PLAN

PREPARED FOR:
PATRICK COTTER

SITE PLANNING & ENGINEERING
PLOWE ENGINEERING, INC.
6776 LAKE DRIVE
SUITE 110
LINO LAKES, MN 55014
PHONE: (651) 361-8210
FAX: (651) 361-8701

NORTH

0 10 20
1 INCH = 20 FEET

C3

UTILITY PLAN BURKE AVENUE APARTMENT BUILDING